



Project: Internal Alterations and Two Storey Addition to  
Northern Side of Existing Ski Lodge

93 Charlotte Way, Charlotte Pass NSW 2624  
Lot 103 DP1242013

DATE: OCTOBER 2023  
PREPARED FOR: ARLBERG SKI CLUB LTD C/- IAN SWAN  
PREPARED BY: ACCENT TOWN PLANNING  
REVISION: 01

## 1.0 Introduction

The project for which this Statement applies is for alterations and additions to the existing Arlberg Ski Lodge. The works include internal alterations and a 10m x 5m three storey addition to the northern side of the lodge.

Arlberg Ski Club Lodge is a privately owned and operated lodge with a licence for 30 beds.

The site is legally described as Lot 103 DP1242013. Located at 93 Charlotte Way, Charlotte Pass within Kosciuszko National Park, NSW.

The proposal aims to seek approval for the following list of alterations and additions to Arlberg Lodge:

Entry Level	
Addition - New Extension including groundworks	Verandah
	Entry
	Addition of 3 Rooms - Boot room/Ski store/ Wood Store/Waste Materials Room.
	Stairway to upper level
Ground Level	
Addition	Managers Flat
Alteration	Door from managers flat to ensuite
	Close off existing doorway between ensuite and storeroom with brickwork
	New Store Room
	New Fire rated room for new Main Switch Board
First Floor	
Addition	Extend existing terrace
	New Glazed Handrail
Alteration	New Store room Relocate existing non structural walls. Create new door opening in existing brick structural wall
	New bedroom (13) with ensuite
	Extend dining room
	Create new store/office
Second Floor	
No Change	
Third Floor	
No Change	

The proposed development is deemed to be of positive influence by visually enhancing the existing lodge whilst providing improved accommodation and facilities within the lodge. These improvements will allow the lodge to provide an enhanced guest experience and ensure the longevity of Alberg Lodge.

Allowing for the updating of the lodges within Charlotte Pass further encourages a safe recreation environment for visitors, enhancing their experience of Kosciuszko National Park.

This Statement of Environmental Effects will accompany a Development Application to be lodged with the Department of Planning & Environment (DPE) under Part 4 of the Environmental Planning and Assessment Act 1979 (EP&A Act).

The proposal has been prepared in accordance with chapter 4 Kosciuszko Alpine Region of the State Environmental Planning Policy (Precincts- Regional) 2021,

The proposal is consistent with the South East and Tableland Regional Plan and Snowy Mountains Special Activation Precinct Master Plan as it as it would maintain the existing use of the site for tourist accommodation improving the condition of the building for its staff and visitors without impacting the environmental, cultural and ecological attributes of the Alpine Precinct.

The proposed works (tourist accommodation) are permitted with consent under the Charlotte Pass Alpine Report Land Use Table within the State Environmental Planning Policy (Precincts- Regional) 2021.

### **Charlotte Pass Alpine Resort**

#### **1 Permitted without consent**

*Nil*

#### **2 Permitted with consent**

*Advertising structures; Building identification signs; Business identification signs; Car parks; Commercial premises; Community facilities; Depots; Eco-tourist facilities; Emergency services facilities; Entertainment facilities; Environmental facilities; Environmental protection works; Fences; Function centres; Helipads; Information and education facilities; Infrastructure facilities; Lifting facilities; Management trails; Medical centres; Monitoring stations; Places of public worship; Public utility undertakings; Recreation facilities (indoor); Recreation facilities (outdoor); Recreation infrastructure; Ski slope huts; Ski slopes; Snow-making infrastructure; Staff accommodation; Telecommunications facilities; Tourist and visitor accommodation; Transport depots; Vehicle repair stations*

#### **3 Prohibited**

*Bed and breakfast accommodation; Farm stay accommodation; Any other development not specified in item 1 or 2*

This Statement of Environmental Effects relies upon and is limited to the information provided in following plans and reports as provided by Arlberg Ski Lodge:-

Author	Name	Reference/Rev	Date
<b>Architectural Plans</b>			
Arlberg Ski Lodge	Floor Plan Entry Level	Sk1a Preliminary DA	14/3/2022
	Floor Plan Ground Level	Sk2a Preliminary DA	14/3/2022

	Floor Plan First Floor	Sk3a Preliminary DA	14/3/2022
	Floor Plan Second Floor	Sk4a Preliminary DA	14/3/2022
	Floor Plan Third Floor	Sk5a Preliminary DA	14/3/2022
	Elevation	Sk6a Preliminary DA	14/3/2022
	3D Perspective	Sk07 Preliminary DA	14/3/2022
<b>Engineering Concept Plans -</b>			
<b>XLAM</b>	4003 Bluebeam Cover Sheet	V01	21/6/2022
	Floor Plan Entry Level		21/6/2022
	Floor Plan Ground Level		21/6/2022
	Floor Plan First Floor		21/6/2022
	Floor Plan Second Floor		21/6/2022
	Floor Plan Third Floor		21/6/2022
	Elevation		21/6/2022
	3D Perspective		21/6/2022
<b>Reports</b>			
HBC Building Certification	BCA Report	Arlberg 1022	29/9/2022
Douglas Partners Pty Ltd	Preliminary Geotechnical Report	Project 215619.00 R.001.Rev0	15/9/2022
Construction Consultants	Quantity Survey Report	Q22C119	4/10/2022
Gradwell Consulting	NCC Section J Compliance Report	Final	7/7/2023
Accent Town Planning	Bushfire Report	23141 Rev 01	October 2023



## 2.0 Site Location & Context

### 2.1 Site Analysis

Charlotte Pass is Australia's oldest and highest ski resort at 1,765 meters above sea level 12. Charlotte Pass is a popular tourist destination for both Australians and international travellers offering an array of attractions including easy access to Australia's highest mountain, Mt Kosciuszko.

The local economy is driven by the winter season with skiing and other winter sports being unique to this region of Australia. A growing summer tourism trade has been developing with activities such as hiking, fishing, kayaking, and mountain biking encouraging outdoor enthusiasts to visit the region.

Arlberg Lodge is located at Lot 103, 93 Charlotte Way, Charlotte Pass within the Kosciuszko National Park. The site has an area of approximately 621.4 sqm with an existing privately owned and operated lodge constructed in 1979, and currently used for the purpose of tourist accommodation.

Nearby buildings include other tourist accommodation lodges such as Stillwell Lodge (north), Snowbird Ski Lodge (east), Tar-Gan Gil (north west) and Burrawong Lodge (west).



**FIGURE 1** LOCATION OF SUBJECT SITE



**FIGURE 2 LOT/LEASE BOUNDARIES**

The proposed additions will increase the north elevation of the building footprint by 50sqm.

The new two storey extension will incorporate a newly configured entry with verandah, boot room, ski store, wood store and a waste and materials room on the entry level.

The ground and first floor works will create a new manager's living quarter with ensuite and a stairway from the entry level. The alteration works on the ground floor will reconfigure the layout involving new and filled in door sites, creation of new storerooms, ensuite bedroom and office with a new fire rated room for the new switch board, extension to terrace, glazed handrail and an extended dining room.

The existing building demonstrates a siting pattern and orientation, maximizing natural light to the building.

An AHIMS search found zero sites or places recorded or declared at the subject allotment. Likewise, there have been no known Aboriginal artefacts found during previous construction of the lodge. External works proposed will result in the minimal ground surface disturbance and hence the likelihood for Aboriginal artefacts to be found is very unlikely.

As a result, the proposed alterations and additions to Arlberg Lodge acknowledges the environmental and cultural significance of the area. The proposed design demonstrates an improvement and modernisation to the amenities of the existing lodge which will improve the long-term resilience of the lodge whilst maintaining the environmental values of the Kosciuszko National Park.

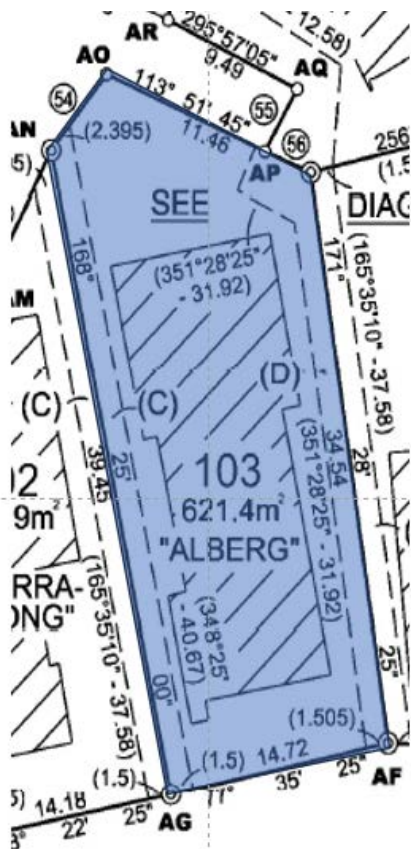




**FIGURE 3**      **AERIAL VIEW OF SITE –**



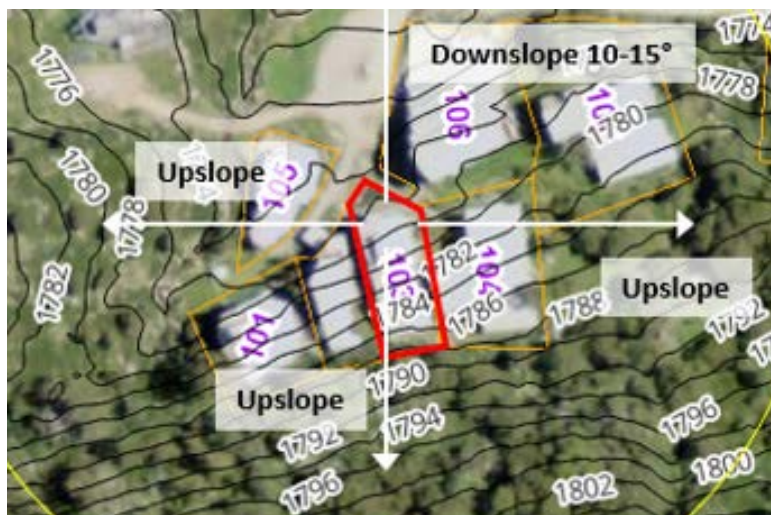
**FIGURE 4**      **CLOSE UP VIEW OF SUBJECT SITE**



**FIGURE 5 DP SITE PLAN**

## 2.2 Site Contours

Landfall is generally consistent across the site and surrounding immediate area sloping up from north (front) to the south (rear).



**FIGURE 6**      **SITE CONTOURS**

The existing lodge has been designed to step back into the slope and the two storey addition on the northern elevation will not impact the overall height of the building.



Excavation and ground works for the proposed extension will occur in previously disturbed areas and are not expected to have any negative environmental impact on the site or surrounding areas.

Preliminary structural engineering assessment has been carried out by XLam on the subject site dated 21/6/2022 and submitted as part of this application.

### 2.3 GEOTECHNICAL CONSIDERATIONS

To supplement the application, a Preliminary Geotechnical Assessment by Douglas Partners (Project 215619.00) dated 15 September 2022 to assess the site suitability for the upgrade works and notes:-

*'From the site photographs, the existing building in the vicinity of the proposed extension was in good condition, and no signs of global slope instability were observed within or adjacent to the development area. A limited number of small trees were observed to be adjacent to the extension area, one with a downward lean, possibly indicating near-surface creep and/or wind-blown lean.*

*Based on the information provided, it is highly likely that the proposed development will have minimal geotechnical impact on site conditions from a stability perspective. A site inspection and geotechnical investigation must be completed prior to finalisation of designs to provide further definitive comment. Based on our experience in alpine resort areas, the below recommendations must be incorporated into the design:*

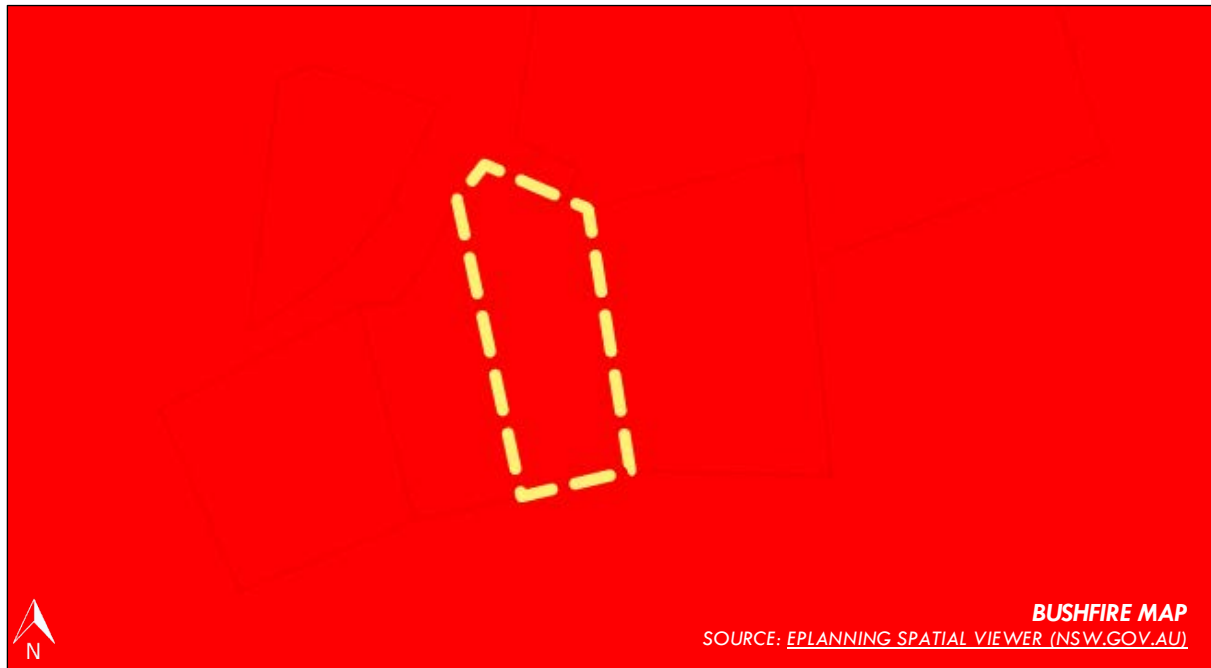
- *All loads from the new structure including the lower ground floor slab are to be transferred through the overburden soils (possibly prone to soil creep) to within the weathered rock. A minimum socket of 0.5 m into weathered rock (minimum extremely low strength) is recommended with an allowable end bearing pressure of 300 kPa.*
- *All new footings must found below the zone of influence of any adjacent/existing footings or backfill trenches from buried services or underground storage tanks.*
- *Where required, fill must be compacted to at least 95% standard dry density ratio within 2 percentage points of optimum moisture content.*
- *The edges of any site excavation and/or fill required to establish the lower floor area must be supported by engineer designed retaining walls.*
- *All footing excavations must be viewed by a Geotechnical Engineer to confirm suitability of the founding stratum.*
- *Site surface drainage or and existing subsurface drainage systems must not be compromised by the proposed works.*
- *All stormwater and/or sewage that is generated by the new development must be disposed offsite in a controlled manner such that it does not impact the performance of the structure and/or surrounding ground.'*

### 2.4 BUSHFIRE

Lot 103 DP1242013 is shown as bushfire affected being Vegetation Category 1.

The BAL level for the proposed works has been calculated as BAL 19.

A bushfire report has been prepared to be submitted with this application.



**FIGURE 7 BUSHFIRE MAP**

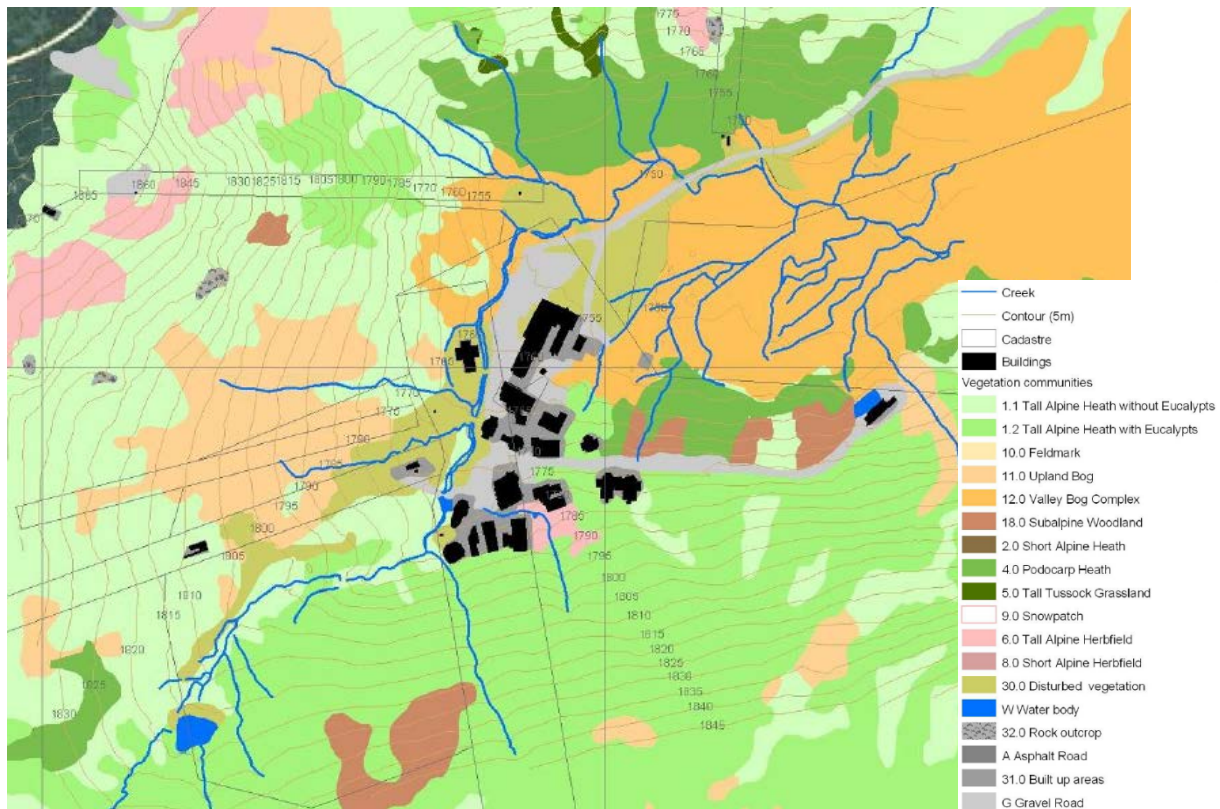
## 2.5 BIODIVERSITY

Lot 103 DP1242013 is identified on the Terrestrial Biodiversity Map, however, the site does not contain Biodiversity Values Map (BVM) areas as demonstrated in Figure 8 below.

The proposed works are contained wholly within the lot boundaries and will avoid the areas with high biodiversity values.



**FIGURE 8 BIODIVERSITY VALUES MAP**



**FIGURE 9** Map C.1 Vegetation communities at Charlotte Pass - Charlotte Pass Village  
Environmental Values Report

## 2.5 ABORIGINAL HERITAGE

An AHIMS search found zero sites or places recorded or declared at the subject allotment See *Appendix I*. Likewise, there have been no known Aboriginal artefacts found during previous construction of the lodge. External works proposed will result in the minimal ground surface disturbance (see geotechnical assessment report attached) and hence the likelihood for Aboriginal artefacts to be found is very unlikely.

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

**FIGURE 4** AHIMS SEARCH RESULT LOT 103 DP1242013

### ABORIGINAL CULTURAL HERITAGE DUE DILIGENCE

#### APPLICABLE PATHWAY

Section 1, "Do you need to use this due diligence code", of the *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales (DECCW 2010)* {referred to as the 'Due Diligence Code' going forward} has determined that the Generic Due Diligence Code of Practice is applicable to follow.

#### GENERIC DUE DILIGENCE CODE

**Question 1:** Will the activity disturb the ground surface or any culturally modified trees?

**Response:** Yes, the proposal will involve minimal ground disturbance – proceed to question 2.

**Question 2:** Are there any:

- Relevant confirmed site records or other associated landscape feature information on AHIMS?



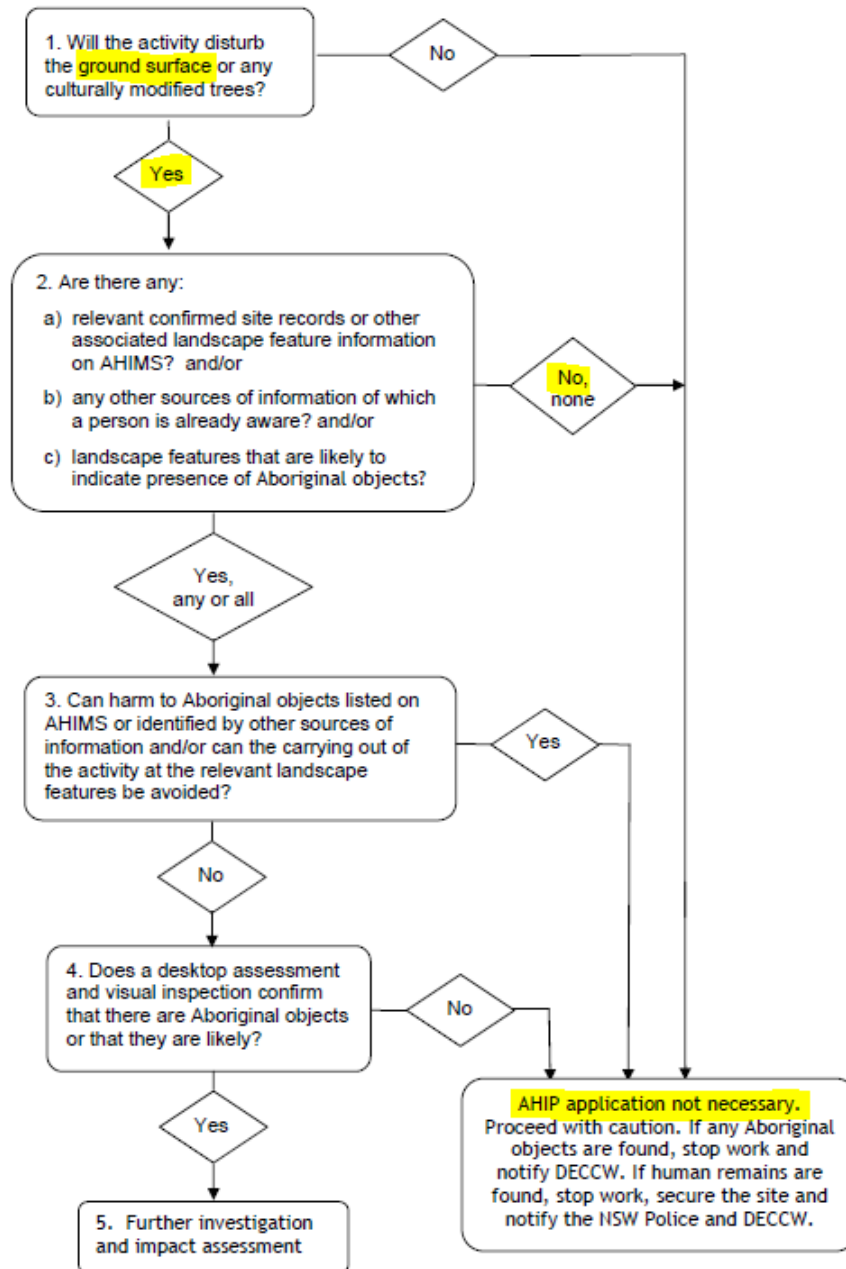
**Response: No** – see AHIMS report above.

b) Any other sources of information of which a person is already aware?

**Response: No other known sources of information or previous reports for the development area.**

c) Any landscape features that are likely to indicate presence of Aboriginal objects?

**Response: No - The proposed development site does not contain any landscape features that are likely to indicate the presence of Aboriginal Objects.**



### **CONCLUSION:**

Therefore, as per the Due Diligence Code “AHIP application not necessary. Proceed with caution. If any Aboriginal objects are found, stop work and notify National Parks and Wildlife

Services (NPWS). If human remains are found, stop work, secure the site and notify the NSW Police and NPWS”.

As a result, the proposed repairs and improvements to the existing lodge acknowledges the environmental and cultural significance of the area and has proposed a thoughtful and considered design to improve the amenities of the existing lodge. Through provision of more modern amenities, it improves the long-term resilience of the lodge and capacity for providing accommodation to guests while maintaining the environmental values of the Kosciuszko National Park.

## 2.6 COLOUR SCHEDULE

The colour scheme is depicted on the external elevations drawings within the DA Issue architectural plans and will be consistent with the existing architectural features.

The introduction of the ironstone custom orb will minimise the appearance of the extension and adds a cost effective modern feature to ensure the longevity of the façade.



The proposed custom orb and stone cladding will provide a more sustainable external cladding, which will secure the long-term resilience of the lodge for operations. The new cladding will provide all weather protection and improve the thermal regulation of the lodge. Lodges such as Jerrabomberra and Lucy Lodge within Charlotte Pass have used custom orb cladding to improve the amenity and exterior of the lodge. Steel cladding also provides greater bushfire protection to occupants. The use of stone and steel cladding creates an aesthetically pleasing façade that complements the built environment and upgrades of lodges throughout the Kosciuszko National Park.

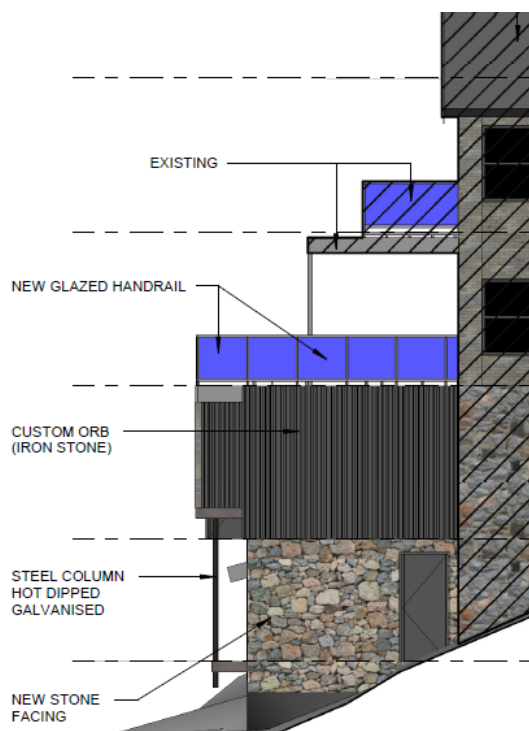


**FIGURE 6**      **EXAMPLES OF CUSTOM ORB CLADDING IN CHARLOTTE PASS**

The proposed stone facing and glazed handrail will match with existing external façade.



The changes are compatible with other developments in CPV being sympathetic to the surrounding lodges and will not detract from the surrounding natural and built environment.



**FIGURE 10**      *West Elevation*

## 2.7 BUILT FORM AND CHARACTER OF ADJOINING DEVELOPMENT

Arlberg Lodge is nestled in the heart of Charlotte Pass Village between Stillwell Lodge to the north, Snowbird Ski Lodge to the east, Tar-Gan Gil to the north west and Burrawong & Lucy Lodges to the west. The surrounding buildings are of various architectural vernacular styles, built 1970's to mid 1980's, but are similar in scale and design including stone faced foundations and timber or block construction above.

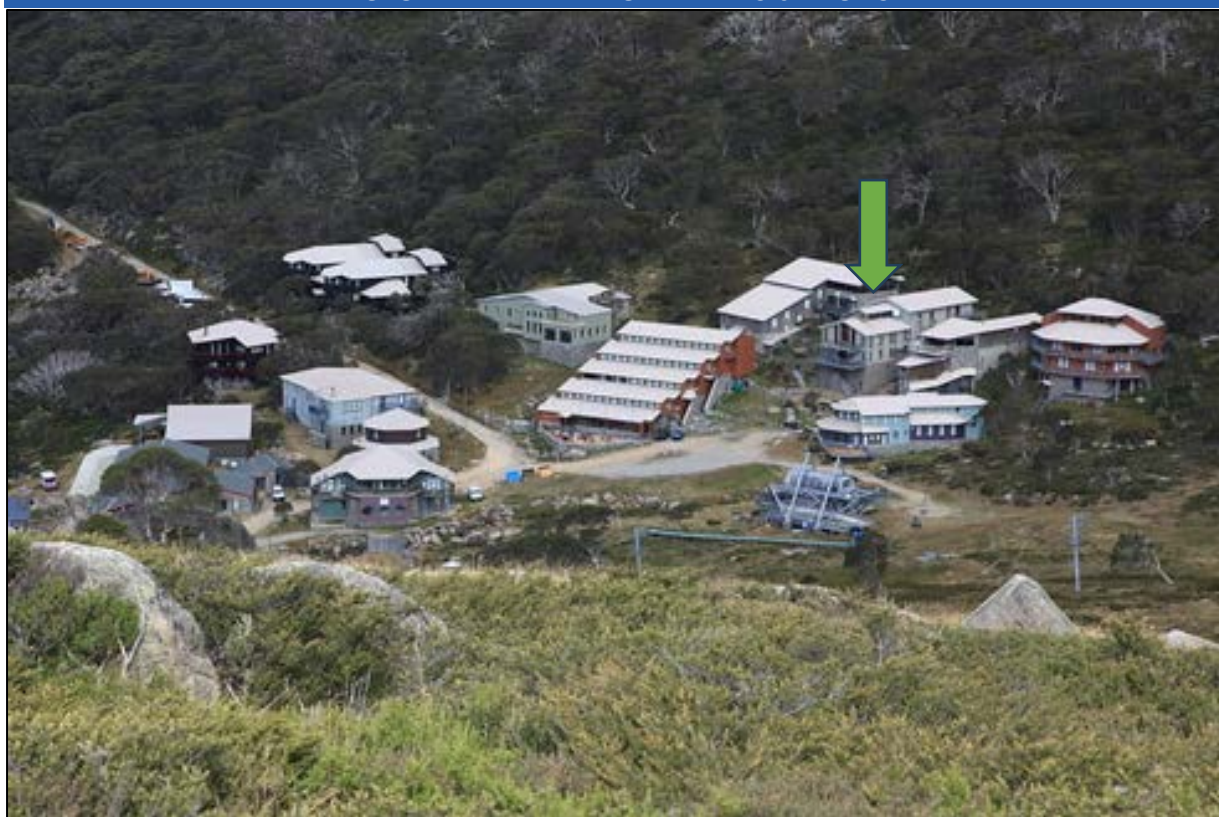
The DECC HHIMS s.170 Heritage Register list Stillwell Lodge, however the proposed works will have no impact to on this property.

The proposed alterations and additional to Arlberg Lodge will not impact on the Charlotte Pass Village landscape or the historical and cultural values of the village. The proposal is keeping with the original building form and reflects the character of the area and the alpine lodge style.



## 2.8 Site Photos

**PHOTO 1 - AERIAL VIEW OF ARLBERG SKI LODGE**



**PHOTO 2 – AERIAL VIEW OF ARLBERG SKI LODGE**



**PHOTO 3 – NORTHERN VIEW TO ARLBERG SKI LODGE**



**PHOTO 4 – PROPOSED LOCATION OF NEW ADDITION**





**PHOTO 5 –WESTERN VIEW TO ARLBERG SKI LODGE**

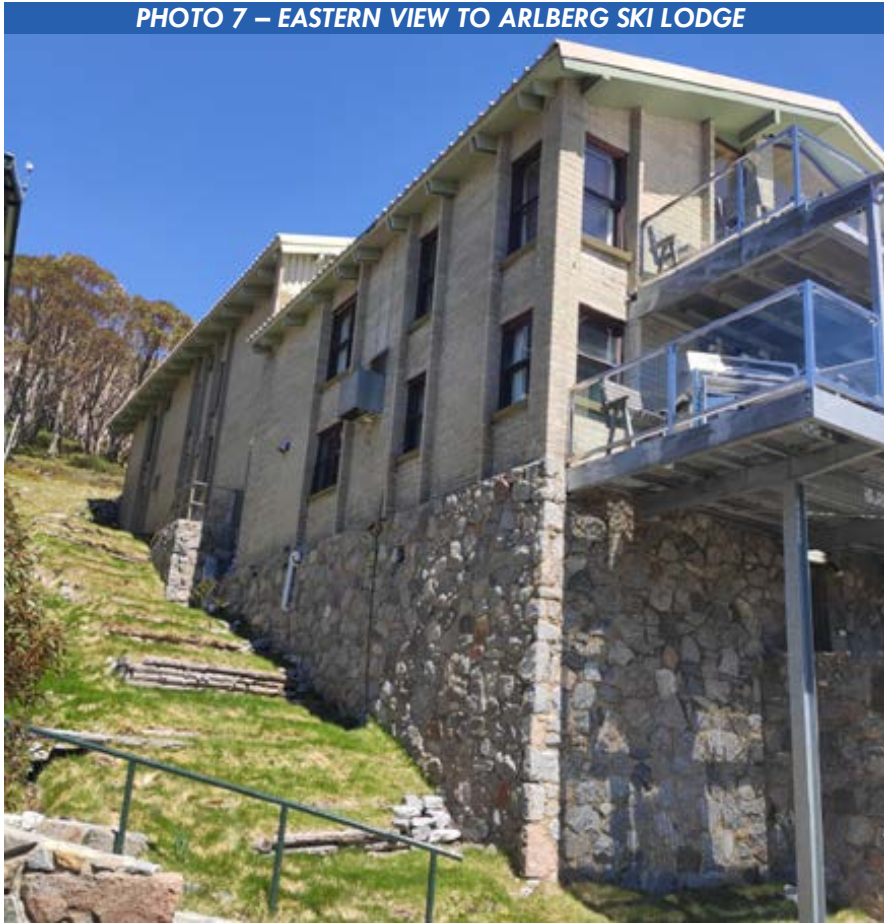


**PHOTO 6 – NORTHWEST VIEW TO ARLBERG SKI LODGE**





**PHOTO 7 – EASTERN VIEW TO ARLBERG SKI LODGE**



**PHOTO 8 – PROPOSED LOCATION OF NEW ADDITION**



### 3.0 Project

The project for which this Statement applies is for alterations and additions to the existing Arlberg Ski Club Lodge located at 93 Charlotte Way, Charlotte Pass within Kosciuszko National Park, NSW. The site is legally described as Lot 103 DP1242013.

The two storey extension (10m x 5m) to the northern elevation of the lodge includes a new entry to the lodge and the addition of a managers quarters. The internal reconfiguration works will create additional and improved amenities for guests and staff includes additional ski/boot/wood/rubbish storage rooms, a new fire rated switchboard room, an extended terrace, an extended dining room, an additional ensuite bedroom, an additional office, an additional storeroom and associated works.

The proposal includes the following works:

Entry Level	
Addition - New Extension including groundworks	Verandah
	Entry
	Addition of 3 Rooms - Boot room/Ski store/ Wood Store/Waste Materials Room.
	Stairway to upper level
Ground Level	
Addition	Managers Flat
Alteration	Door from managers flat to ensuite
	Close off existing doorway between ensuite and storeroom with brickwork
	New Store Room
	New Fire rated room for new Main Switch Board
First Floor	
Addition	Extend existing terrace
	New Glazed Handrail
Alteration	New Store room Relocate existing non structural walls. Create new door opening in existing brick structural wall
	New bedroom (13) with ensuite
	Extend dining room
	Create new store/office
Second Floor	
No Change	
Third Floor	
No Change	



**FIGURE 11      3D CONCEPT**

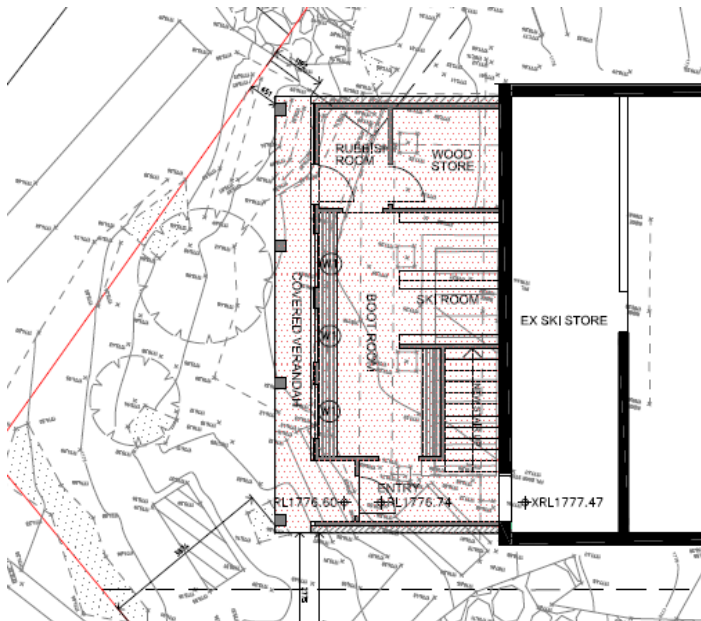
The proposed new extension to the lodge offers an articulated façade with a mix of materials, natural stone and tones and custom orb Colorbond cladding with the proposed new works complementing the existing materials and landscape of the snow resorts. This allows Arlberg Ski Lodge to not only blend into the area but also complement the existing landscapes and development found within the Kosciuszko National Park.

Groundworks for the proposed extension are to be carried out in previously disturbed areas with maximum excavation of less than 1m. Douglas Partners have carried out desktop preliminary assessment of the site and have concluded that the proposed works will have minimal geotechnical impact on the stability of the site. A site assessment with report and Form 4 will be completed and conditioned as part of the DA approval.

External stone cladded walls are proposed for new ground floor extension in keeping with the existing lodge foundations. A new verandah will offer shelter from snowfall during winter and shade during the summer on entering and exiting the building. Three new windows to the front of the extension offer thermal regulation and light to the new boot and ski room along with the entryway. Windows will blend with the existing character of the lodge and will be to BAL19 rating as recommended in the Bushfire report submitted as part of this application.

The addition of the boot and ski room will enhance visitor facilities providing an area outside of communal and accommodation areas for these items to be securely stored, thus keeping bedrooms and communal spaces free of obstructions allowing easier movement throughout. The addition of a new staircase from the entry level to the ground floor managers flat and storerooms allows for staff to have internal access to the new rubbish and wood store rooms without having to go through the lodge which are also being proposed for the new entry level extension.

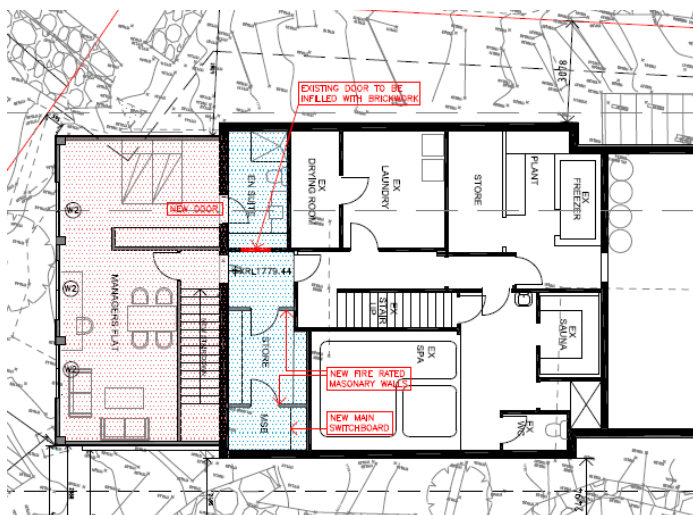




**FIGURE 12 ENTRY LEVEL ADDITION FLOOR PLAN**

The ground floor extension will provide a new managers flat complete with a combined living, dining and kitchen area. An open plan design is proposed for the managers flat with direct access from the bedroom to the living area. To create an ensuite bathroom for the managers flat the intention is to use brickwork to fill the existing door access from a bathroom on the ground floor and create a new door access from the adjoining wall on the other side to the new bedroom in the managers flat. Three north facing windows will allow for light and thermal comfort throughout the managers flat. Demonstrated in figure 13 below.

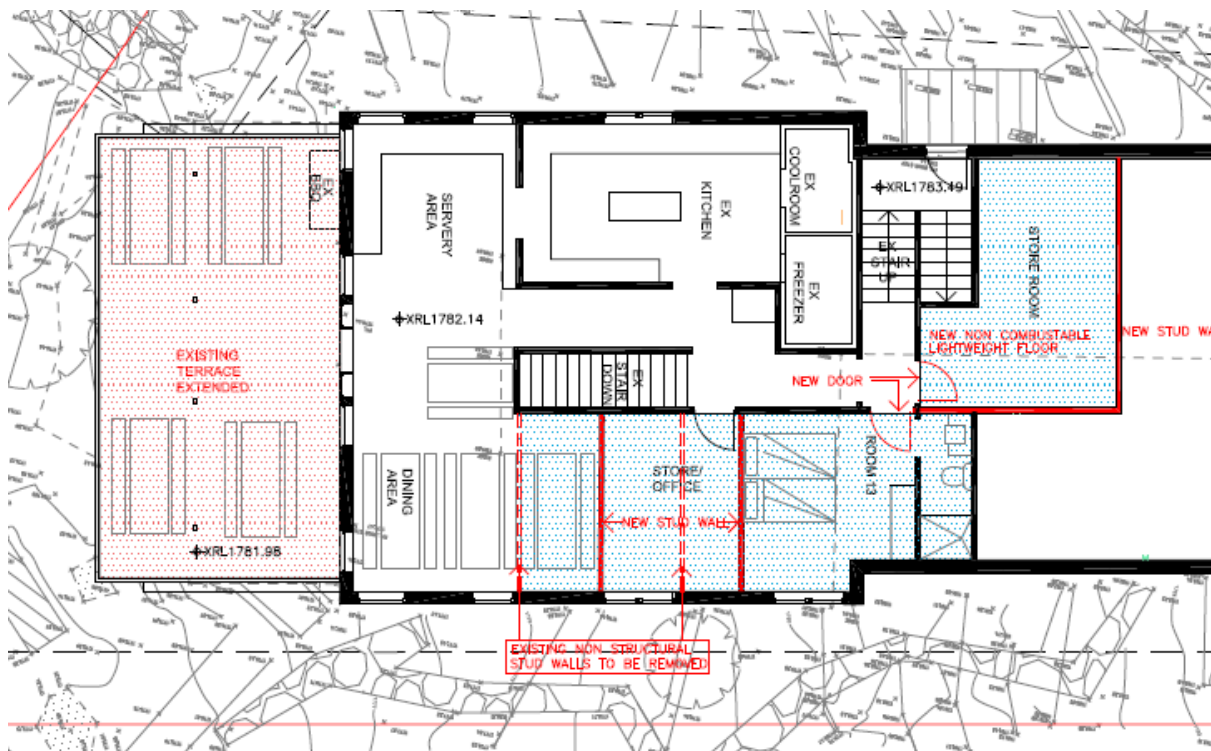
An existing storeroom in the ground level will be split into a corridor from the stairway of the new extension, a storeroom and a new room for the new main switch board. All newly constructed walls will be non structural fire rated masonry walls. Also demonstrated in figure 13 below.



**FIGURE 13 GROUND LEVEL ALT & ADDS FLOOR PLAN**

The final alterations and additions to the first floor of the lodge consist of the creation of a new ensuite bedroom next to a new storeroom. The storeroom will be created by the construction of stud walls in the existing subfloor. Two new door openings to allow access to these rooms will be cut through existing walls. Existing non structural walls on the eastern side of the lodge will be removed and replaced with two new stud walls. The reconfigured walls will create an extended dining area, a new office and the new bedroom as shown on the architectural plans.

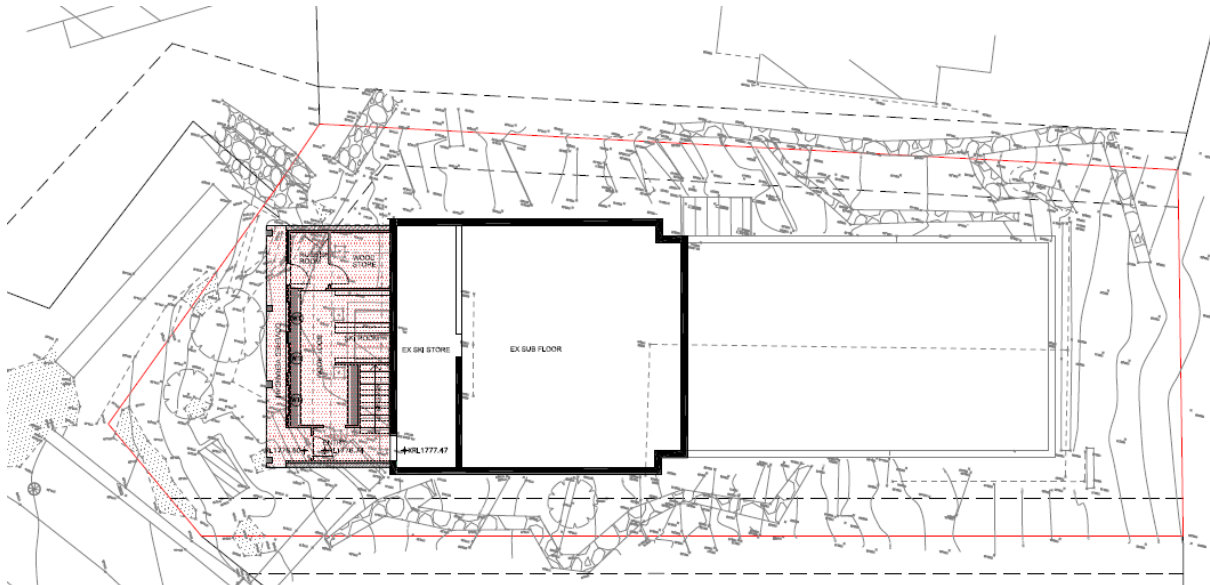
The extended terrace will allow increased outdoor recreation area for visitors to enjoy the vistas of the surrounding range. Hot dipped galvanised steel columns from the edge of the extended terrace will ensure the extension is structurally sound. A new glazed handrail will be installed to meet the requirements of the NCC/BCA. Site inspections and geotechnical assessments have been recommended by Douglas Partners Pty Ltd prior to design finalisation. These changes are highlighted in the figure below:



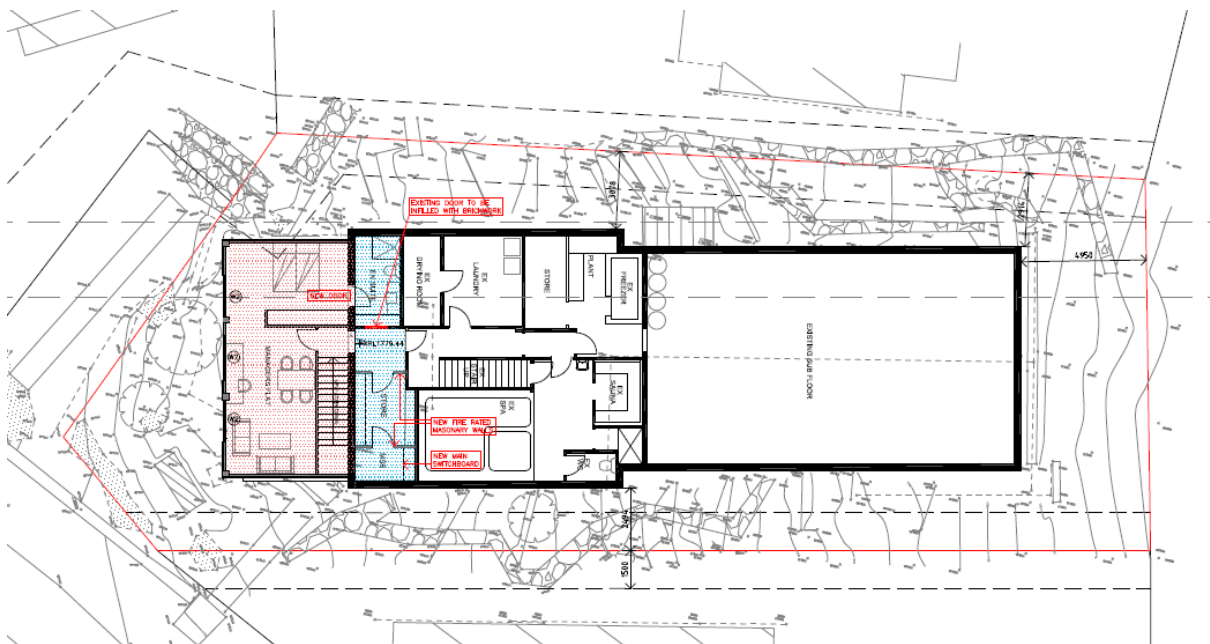
**FIGURE 14 FIRST FLOOR ALTS & ADDS FLOOR PLAN**

Overall, the proposed development is deemed to be of positive influence on Charlotte Pass Snow Resort by offering upgraded modern amenities for guests. The improvements will provide greater bushfire protection for guests with the upgrade to the windows and external cladding while providing a modern appearance to complement the built and natural environment. Likewise, the improvements will enhance the safety of occupants to provide a safe recreation environment to visitors enhancing their experience of Kosciuszko National Park.

## ELEVATIONS & SECTIONS

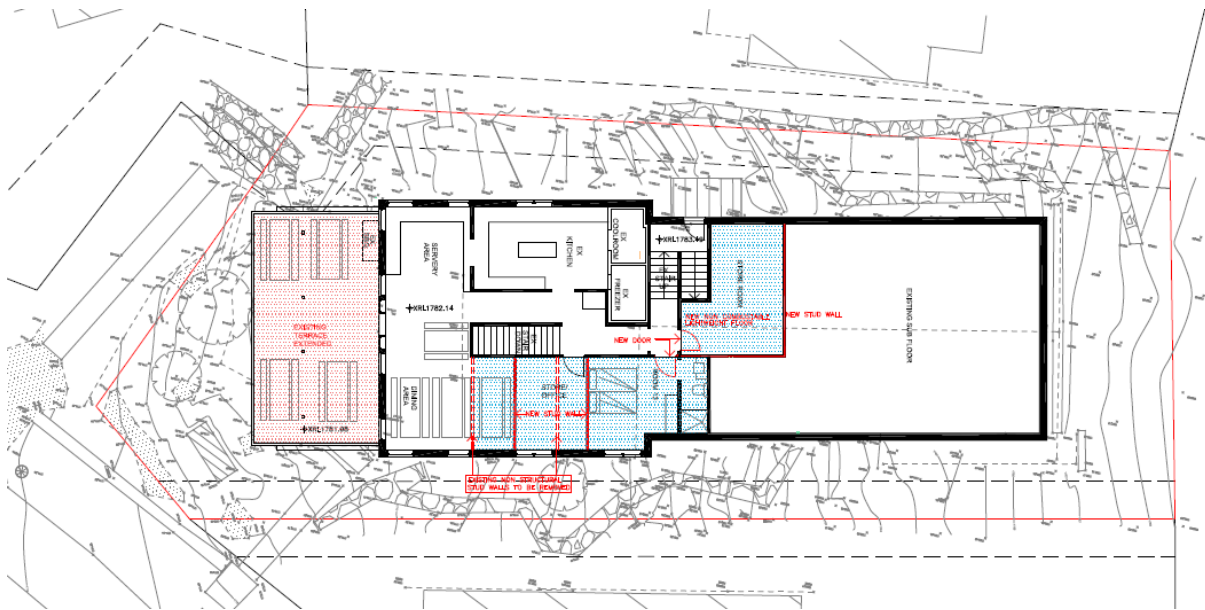


**FIGURE 15** ENTRY FLOOR PLAN

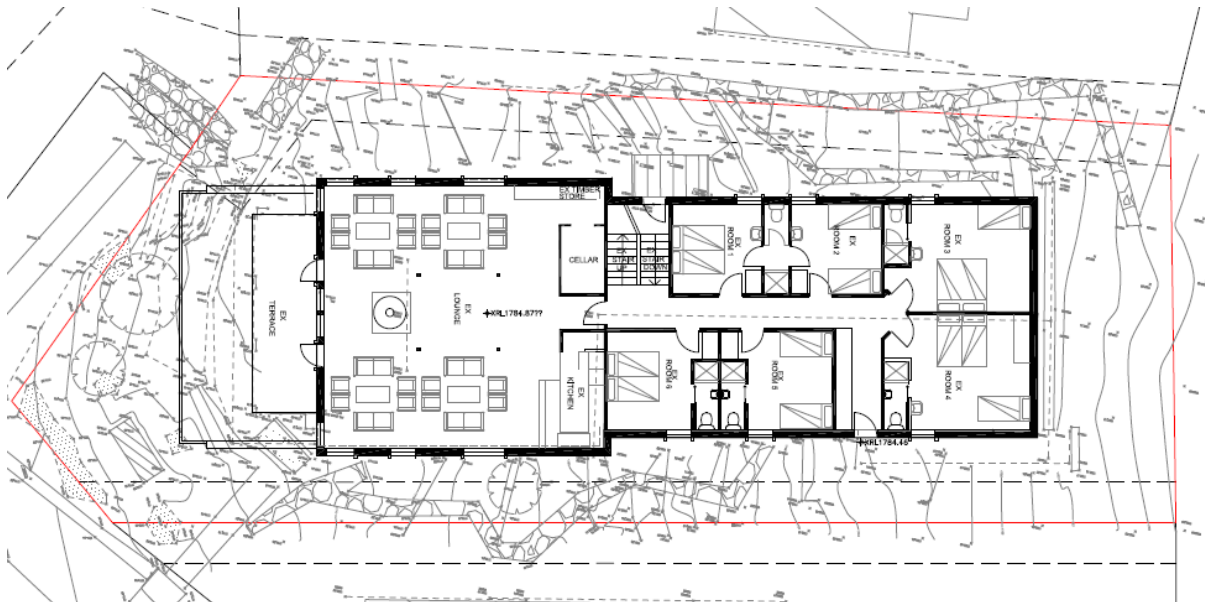


**FIGURE 16** GROUND FLOOR PLAN

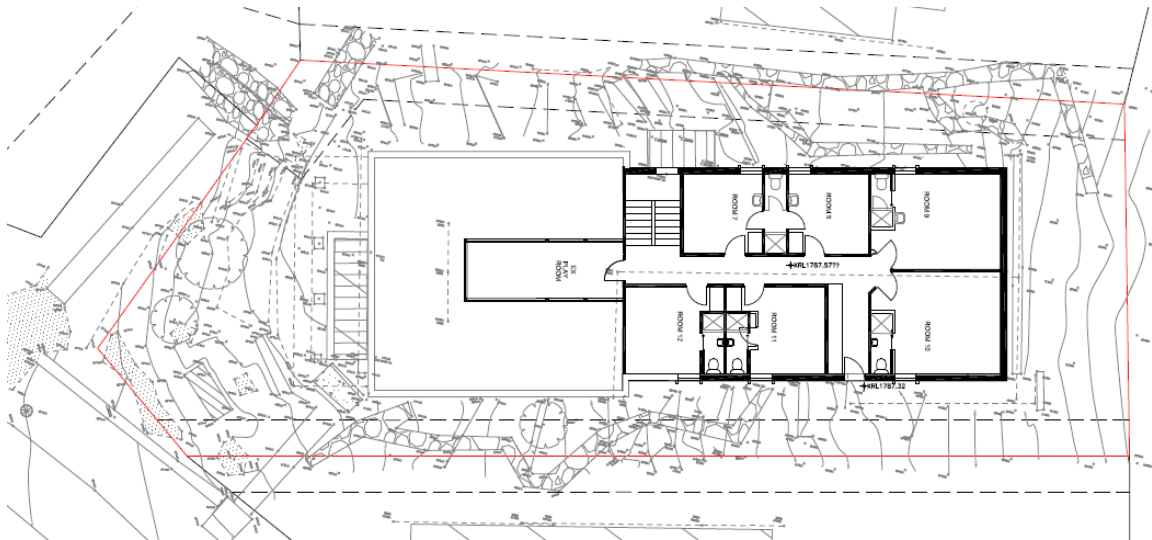




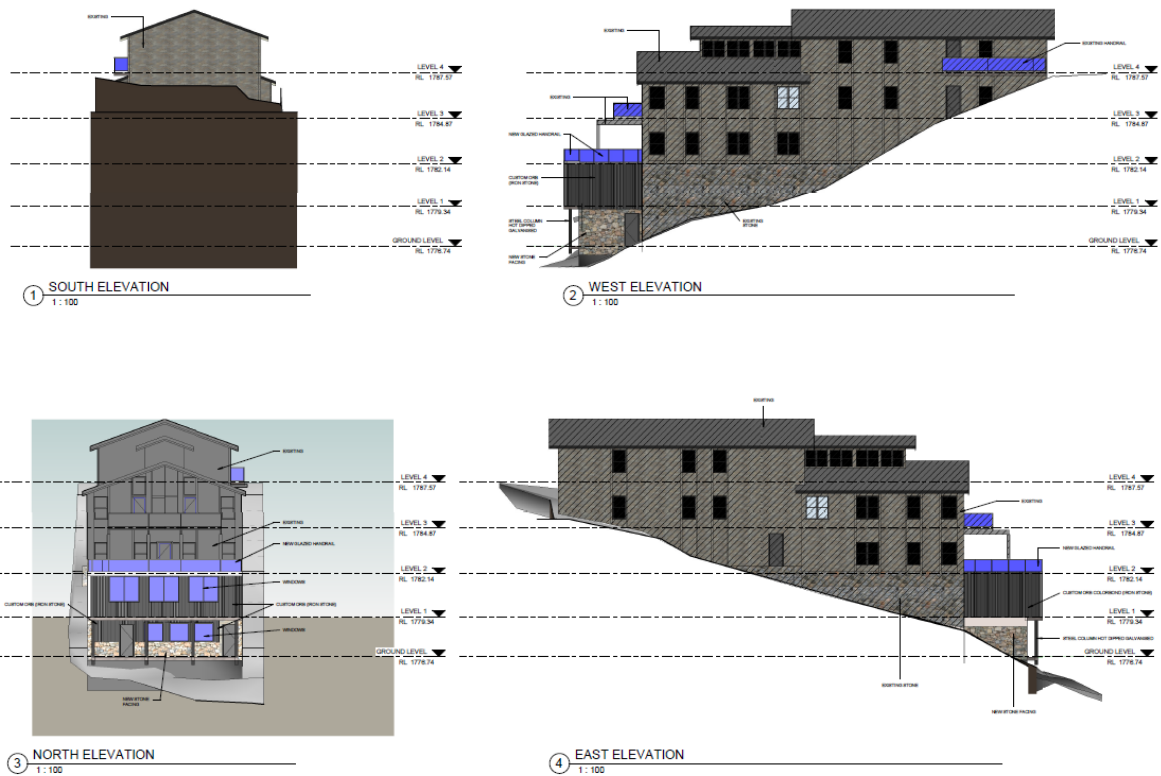
**FIGURE 17 FIRST FLOOR PLAN**



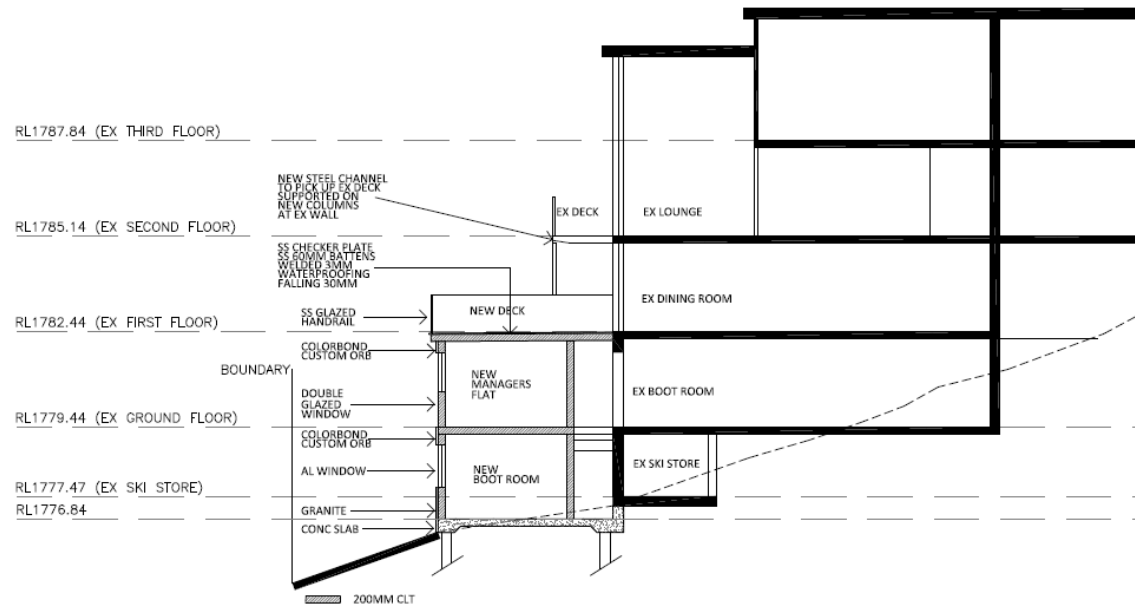
**FIGURE 18 SECOND FLOOR PLAN**



**FIGURE 19** **THIRD FLOOR PLAN**



**FIGURE 20** **ELEVATIONS**



**FIGURE 21 SECTIONS**



**4.0 GENERAL INFORMATION****PROJECT DESCRIPTION**

The project for which this Statement applies is for the alteration and additions to Arlberg Ski Club Lodge, Charlotte Pass.

**SITE SUITABILITY**

The site is suitable for the proposed development.

<ul style="list-style-type: none"> <li>site constraints such as flooding, slope, geotechnical hazards, bushfire, and any other risks.</li> </ul>	<p>The subject site is identified as bushfire prone land, and hence a Bushfire Hazard Assessment Report has been prepared and will be submitted as part of this application.</p> <p>The subject site is not identified as flood prone land.</p> <p>The proposed works will result in minimal ground disturbance in previously disturbed areas under the existing first floor terrace. A preliminary geotechnical assessment has been prepared for this application.</p>
<ul style="list-style-type: none"> <li>effects on the local environment, landscape, streetscape, appearance, or scenic quality of the locality.</li> </ul>	<p>There are no proposed adverse effects of the local environment, landscape, streetscape, appearance, or scenic quality of the locality as the proposed development is consistent with surrounding development and existing buildings in CPV.</p>
<ul style="list-style-type: none"> <li>biological and ecological impacts including the impacts on fauna and flora.</li> </ul>	<p>The subject lot does not contain areas of High Biodiversity Values. Excavation for the extension will occur wholly within the lot in previously disturbed areas and will not negatively impact upon the BVM areas.</p> <p>Caution will be taken in handling and disposing of any waste materials associated with the proposed works, to limit any potential damage or contamination of these areas.</p>
<ul style="list-style-type: none"> <li>impacts on existing and future amenity of the locality.</li> </ul>	<p>The proposed works are deemed to be of positive influence on both the existing lodge as well as CPV, by offering a higher level of accommodation for the lodge manager and improve the facilities within the lodge which will enhance the tourism service industry in the area.</p>
<ul style="list-style-type: none"> <li>the age and condition of any structures or buildings.</li> </ul>	<p>Arlberg Ski Club Lodge was constructed in 1979 with stone faced foundation with predominantly brick construction above.</p> <p>The lodge has remained predominantly original since construction.</p>

**PRESENT AND PREVIOUS USES**

Since construction, Arlberg Ski Club Lodge has been utilised as a commercial ski lodge, used for the purpose of tourist accommodation. There are no proposed changes to the current use of the lodge as part of this application.

#### OPERATIONAL DETAILS

The lodge currently operates as a club lodge (Arlberg Ski Club) that is open to the public and provides fully catered tourist accommodation. There are no proposed changes to the current operating details of the lodge.

#### CHANGE OF USE OF A BUILDING (WHERE THERE IS NO BUILDING WORK)

Not applicable.

#### BUILDING CLASSIFICATION AND BUILDING CODE OF AUSTRALIA (BCA)

**Class of Occupancy** Class 3 & 10a

**Type of Construction Required** Type A

**Rise Storeys:** 4 Storeys

**Number of Storeys:** 5 Storeys

**Effective Height:** 9.8m

Level 4 (RL 10.791) – Ground Level GL (RL00. -809)

As noted in BCA Report for DA submission Ref Arlberg 1022 by Millar Consultancy date 29 September 2022.

#### SNOW DEPOSITION

The roof design of the lodge is appropriately sloped, and directs accumulated snow to fall away from entrances, establishing safe entry and exit into and out of the lodge.

#### GEOTECHNICAL ENGINEERING SUMMARY

To supplement the application, a Geotechnical Investigation Report has been prepared by *Douglas Partners Pty Ltd* to assess the site suitability for the extension at Arlberg Ski Club Lodge.

As per the geotechnical assessment report provided: (Updated from Geo report)

*As requested, a review of architectural plans and site photographs provided by the client has been undertaken for the above site for the purposes of assessing the geotechnical implications (if any) of the proposed site development. It is understood that a two level, 10 m by 5 m extension to the front (downslope) side of the existing building is proposed. It is further understood that an existing balcony off the 3rd level (First Floor) will be retained, and the extension constructed under.*

*Site works as detailed in Drawings SK1a – SK7a dated 1 January 2021 (see attached drawings) indicate that a maximum depth of cut of 0.7 m and a maximum depth of fill of 0.9 m will be required to facilitate construction levels.*

*From the site photographs, the existing building in the vicinity of the proposed extension was in good condition, and no signs of global slope instability were observed within or adjacent to the development area. A limited number of small trees were observed to be adjacent to the extension area, one with a downward lean, possibly indicating near-surface creep and/or wind-blown lean.*

*Based on the information provided, it is highly likely that the proposed development will have minimal geotechnical impact on site conditions from a stability perspective. A site inspection and geotechnical investigation must be completed prior to finalisation of designs to provide further definitive comment. Based on our experience in alpine resort areas, the below recommendations must be incorporated into the design*

- *All loads from the new structure including the lower ground floor slab are to be transferred through the overburden soils (possibly prone to soil creep) to within the weathered rock. A minimum socket of 0.5 m into weathered rock (minimum extremely low strength) is recommended with an allowable end bearing pressure of 300 kPa.*
- *All new footings must be founded below the zone of influence of any adjacent/existing footings or backfill trenches from buried services or underground storage tanks.*
- *Where required, fill must be compacted to at least 95% standard dry density ratio within 2 percentage points of optimum moisture content.*
- *The edges of any site excavation and/or fill required to establish the lower floor area must be supported by engineer designed retaining walls.*
- *All footing excavations must be viewed by a Geotechnical Engineer to confirm suitability of the founding stratum.*
- *Site surface drainage or and existing subsurface drainage systems must not be compromised by the proposed works.*
- *All stormwater and/or sewage that is generated by the new development must be disposed offsite in a controlled manner such that it does not impact the performance of the structure and/or surrounding ground.*

#### STRUCTURAL ENGINEERING DETAILS

Structural engineering information from XLam are submitted as part of this application.

#### SOCIAL AND ECONOMIC IMPACT

The proposed alterations and additions to Arlberg Ski Club Lodge are expected to have positive social and economic impacts. Arlberg Ski Club Lodge plays an important role in providing viable tourist accommodation for visitors to the Charlotte Pass Village.

The alterations, additions and upgrades to the building will improve the longevity of the building, enhance visitor experience, and will help the ongoing operation of the lodge; hence the works will contribute to the continued economic function of Charlotte Pass Village.

Additionally, the improvements to the lodge will secure the long-term resilience of the resort and will protect the seasonal jobs offered annually each ski season.

#### ACCESS AND TRAFFIC

Charlotte Pass is only accessible during the winter season via over snow transport. There are limited seats on over snow transport and hence the development will not increase transport and access requirements to the resort. Likewise, the proposed development will not generate additional visitation to the resort during the summer and as a result will have no impact on the existing access and traffic to the alpine resort.

#### PRIVACY, VIEWS AND OVERSHADOWING

The proposed works are not anticipated to have any negative impacts to privacy, views and overshadowing.

#### AIR AND NOISE

##### AIR

Works involving dust dispersion will use water spray to help keep material damp and dust down. Covers will be placed over waste storage areas and piles of excavated materials to prevent dust dispersion. When transporting materials that cause dust they will be dampened and covered before moving.



**NOISE**

Noise on a construction site can become a form of pollution to the local environment through the use of plant, machinery and tools. For protection of employees and visitors to the site they are issued with PPE including ear protection.

To reduce noise pollution from site the following procedures will be followed:

- All plant, machinery and tools will be maintained in good working order at all times.
- Work involving noisy tools or machinery to be used inside the building structure when possible.
- Strict hours of operation for each site will be implemented to reduce noise pollution to the surrounding areas.
- In the instance of receiving a complaint in regard to noise levels immediate rectification will occur as far as practical.

**SOIL, WATER AND WASTEWATER MANAGEMENT**

The proposed works include minimal ground disturbance. Appropriate soil erosion control measures will be implemented on site during construction to prevent soil erosion from occurring. There are no proposed changes to the existing water and wastewater management infrastructure existing on site.

**HERITAGE**

Arlberg Ski Club Lodge is not identified as a heritage item on the state heritage register, nor is it listed as a heritage item in *Schedule 3 Heritage items – Chapter 4 of the Precincts Regional SEPP 2021*. However, much consideration has been put into the proposed works to ensure that the new materials reflect the existing character of the lodge, to ensure the proposed changes are consistent with the character and design of CPV.

**ABORIGINAL CULTURAL HERITAGE**

An AHIMS search found zero sites or places recorded or declared at the subject allotment See *Appendix I*. Likewise, there have been no known Aboriginal artefacts found during previous construction of the lodge. External works proposed will result in the minimal ground surface disturbance (see geotechnical assessment report attached) and hence the likelihood for Aboriginal artefacts to be found is very unlikely.

**VEGETATION REMOVAL**

Not applicable, the proposed works will be occurring in previously disturbed areas to ensure no vegetation removal is required.

**ENERGY**

Section J assessment has been undertaken by Gradwell Consulting and is submitted as part of this application.

**WASTE**

The proposed development is not expected to increase visitation numbers to the resort. As a result, there will be no need to increase the capacity of existing waste disposal facilities due to the proposed development.

Waste generated from the removal of the deteriorated materials and the general construction waste and other waste associated with the proposed works will be disposed of in the skip bin and deposited in the nearest council waste facility.

**DEMOLITION**

Waste generated from the proposed works will be disposed of in the skip bin and deposited in the nearest council waste facility.

#### TERMITE PROTECTION

To be conditioned as part of the Development Application consent.

#### SCHEDULE OF WORKS

Construction will be during the summer season from October to May with no works proposed to be conducted during the winter season June to September. The start date for construction is not yet set and the year will be determined after development consent has been issued.

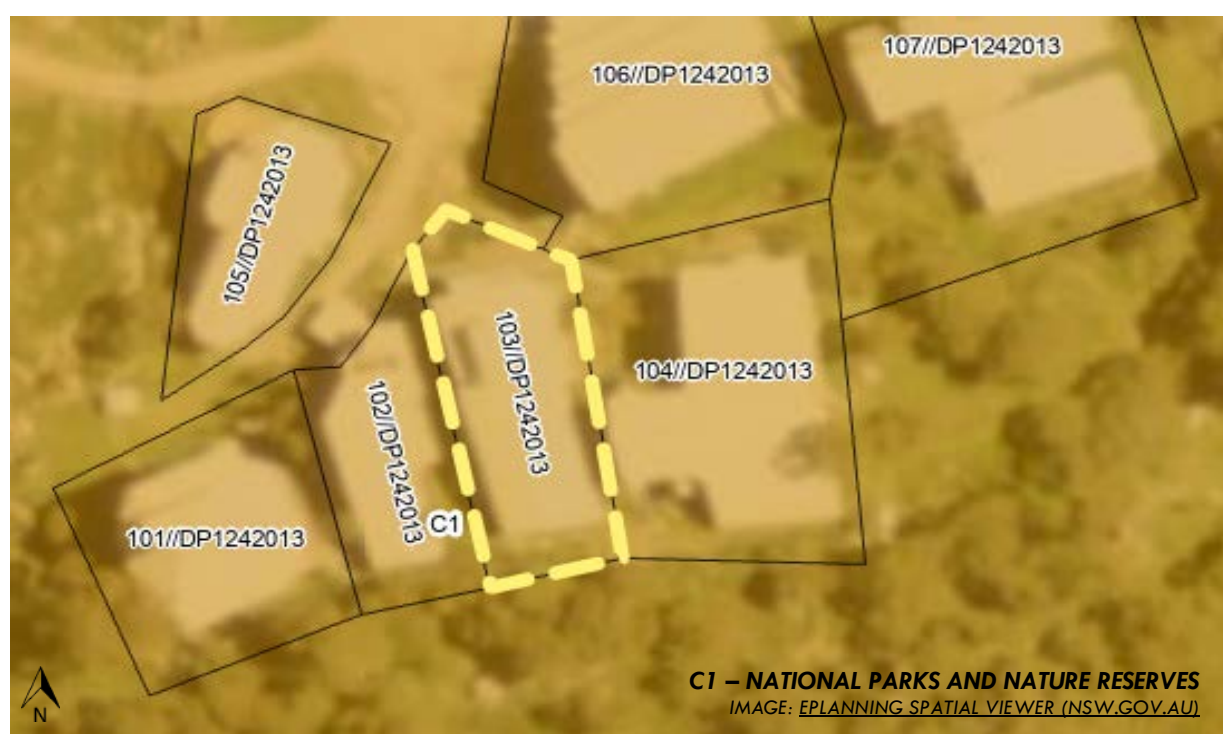
## 5.0 PERMISSIBILITY, LEGISLATION AND REGIONAL PLAN

### 5.1 SOUTH EAST AND TABLELAND REGIONAL PLAN 2036

The proposed additions and alterations to Arlberg Ski Club Lodge will provide improved tourist accommodation and will ensure the longevity of the building by upgrading and improving the facilities at the lodge. This is consistent with the purpose of the Regional Plan, which offers a framework to provide infrastructure and development to help strengthen the long-term resilience of the South-East and Tableland region. The regional Plan seeks to acknowledge the unique environmental and cultural significance of Kosciuszko National Park, whilst also enhancing visitor experience, which this application has taken into consideration.

### 5.2 STATE ENVIRONMENTAL PLANNING POLICY (PRECINCTS – REGIONAL) 2021

The proposal is for an extension, alterations and additions to the existing Arlberg Ski Club Lodge. The proposed works are permissible under Chapter 4 of the State Environmental Planning Policy (Precincts – Regional) 2021, as the works help to maintain the condition of the existing lodge, and do not propose any changes to the existing permissible uses of the building.



**FIGURE 22 LAND ZONING MAP**

#### **CHARLOTTE PASS ALPINE RESORT – LAND USE TABLE**

##### **PERMITTED WITHOUT CONSENT**

*Nil*

##### **PERMITTED WITH CONSENT**

*Advertisements; Building identification signs; Business identification signs; Car parking; Commercial premises (other than brothels and workshops); Community facilities; Conference facilities; Educational establishments; Emergency services facilities; Entertainment facilities; Fences; Food outlets; Health profession consulting rooms; Helipads; Infrastructure facilities; Lifting facilities; Management trails; Medical centres; Places of public worship; Public utility undertakings; Recreation facilities;*



*Recreation infrastructure; Shops; Ski slope huts; Ski slopes; Snow-making infrastructure; Stream flow monitoring stations; Telecommunications facilities; Tourist accommodation; Transport facilities; Vehicle repair stations; Weather stations*

## PROHIBITED

*Any development not otherwise specified in item 1 or 2.*

### 5.2.1 AIMS & OBJECTIVES OF CHAPTER (PART 4.1 PRECINCTS – REGIONAL SEPP)

<p>(1) The aim of this Chapter is to protect and enhance the Alpine Region by ensuring development is managed with regard to the principles of ecologically sustainable development, including the conservation and restoration of ecological processes, natural systems and biodiversity.</p>	<p>Noted. The proposed works are consistent with the aims and objectives of the policy as the development will improve the condition and therefore longevity of the building.</p> <p>The proposal will create positive social and economic impacts and works towards securing the long-term resilience of the alpine resort.</p>
<p>(2) The objectives of this Chapter are as follows—</p> <p>(a) to encourage the carrying out of a range of development to support sustainable tourism in the Alpine Region all year round, if the development does not result in adverse environmental, social or economic impacts on the natural or cultural environment of the Alpine Region, including cumulative impacts on the environment from development and resource use,</p> <p>(b) to establish planning controls that—</p> <p>(i) contribute to and facilitate the carrying out of ecologically sustainable development in the Alpine Region, and</p> <p>(ii) recognise the Alpine Region's significant contribution to recreation and the tourism economy in the State,</p> <p>(c) to minimise the risk to the community of exposure to environmental hazards, particularly geotechnical hazards, bush fires and flooding, by—</p> <p>(i) generally requiring development consent on land in the Alpine Region, and</p> <p>(ii) establishing planning controls for buildings to ensure the safety of persons using the buildings if there is a fire.</p>	<p>Complies, no adverse impacts will result from this application.</p> <p>The proposed works to Arlberg Ski Club Lodge will be of positive influence to CPV and will have no negative impact on existing summer and winter transport, reticulated effluent management, waste disposal or water supply.</p> <p>The proposed development will not generate additional visitation to the resort and hence will have no impact on the existing capacity of the reticulated effluent management system.</p> <p>Likewise, with no increase in visitation there will be no need to increase the capacity of existing waste disposal facilities or water supply.</p> <p>The proposed works are expected to have minimal environmental impact, groundworks will be carried out in previously disturbed areas.-With the implementation of appropriate environmental controls during construction, the potential impacts from the works on the natural environment are negligible.</p> <p>The proposed development has been designed for minimal disturbance to the</p>

	surrounding natural environment with all works undertaken within the lease area. This includes the consideration of bushfire threat and geotechnical considerations. See Bushfire Hazard Assessment Report (BHAR) submitted as part of this application.
--	--

## 5.2.2 OTHER DEVELOPMENT CONTROLS (PART 4.4 PRECINCTS – REGIONAL SEPP)

4.21 Heritage Conservation	
(1) The objective of this section is to conserve— (a) the environmental heritage of the Alpine Region, and (b) the heritage significance of heritage items, including associated fabric, settings and views, and (c) Aboriginal heritage items and Aboriginal places.	The proposed upgrades to the lodge will have no impact on the environmental heritage of the Alpine Region.  Arlberg Ski Club Lodge is not identified as a heritage item on the state heritage register, nor is it listed as a heritage item in Schedule 4 Heritage items – Chapter 4 of the Precincts Regional SEPP 2021.  No Aboriginal heritage items or places were identified on the AHIMS search as noted in Appendix I.
(2) Development consent is required for the following in the Alpine Region— (a) demolishing or moving a heritage item, (b) altering a heritage item, including by doing the following to a heritage item that is a building— (i) making changes to the detail, fabric, finish or appearance of the building's exterior, (ii) making structural changes to the building's interior, (c) disturbing or excavating land that is, or contains, an Aboriginal heritage item, (d) erecting a building on land that is, or contains, a heritage item, (e) subdividing land that is, or contains, a heritage item.	Arlberg Ski Club Lodge is not identified as a heritage item on the state heritage register, nor is it listed as a heritage item in Schedule 3 Heritage items – Chapter 4 of the Precincts Regional SEPP 2021
(3) Development consent is not required under this section for the following development— (a) development that involves only the removal of a tree or other vegetation that the consent authority is satisfied is a risk to human life or property, (b) exempt development,	N/A

(c) development that does not require development consent under section 4.14.	
(4) The consent authority may, before work is carried out, give written notice to an applicant for development consent that development consent is not required under this section if the consent authority is satisfied the development— (a) is of a minor nature or is for the maintenance of the heritage item, and (b) the development will not adversely impact the heritage significance of the heritage item.	noted
(5) In deciding whether to grant development consent for development under this section, the consent authority— (a) must consider the effect of the development on— (i) the heritage significance of the heritage item, and (ii) Aboriginal objects known or reasonably likely to be located on the land, (b) may require the submission of a heritage conservation management plan, and (c) for development on land that is, contains or is near a heritage item—may require the preparation of a heritage impact statement.	Arlberg Ski Club Lodge is not identified as a heritage item on the state heritage register, nor is it listed as a heritage item in Schedule 3 Heritage items – Chapter 4 of the Precincts Regional SEPP 2021.  The works will require ground surface disturbance being carried out in previously disturbed ground, hence the likelihood for Aboriginal artefacts to be found is very unlikely. If any Aboriginal objects are found, stop work and notify National Parks and Wildlife Services (NPWS).
(6) Development consent must not be granted to development on land that is, or contains, an Aboriginal heritage item, and that requires development consent under this section, unless the consent authority has— (a) given written or other appropriate notice of the development to the local Aboriginal communities, and (b) considered responses received from the communities within 28 days after the notice is given.	AIHMS report conducted on 13/09/2023 concluded that no Aboriginal sites were identified, or Aboriginal places have been declared in or near the Arlberg Ski Club Lodge.
<b>4.22 Conservation incentives</b>	
(1) This section applies to development in the Alpine Region that— (a) involves a building that is a heritage item, or (b) is on land on which a building that is a heritage item is located.	Arlberg Ski Club Lodge is not identified as a heritage item on Schedule 4 Heritage Items of the SEPP.
(2) Development consent may be granted to development to which this section applies, even if the development would otherwise be	N/A. The proposed works are permitted under this Chapter.



<p>prohibited under this Chapter, if the consent authority is satisfied of the following—</p> <ul style="list-style-type: none"> <li>(a) granting the development consent will facilitate the conservation of the heritage item,</li> <li>(b) the development will be in accordance with a heritage conservation management plan that has been approved by the consent authority,</li> <li>(c) the development consent will require the carrying out of all necessary conservation work identified in the heritage conservation management plan,</li> <li>(d) the development will not adversely affect the heritage significance of the heritage item, including its setting,</li> <li>(e) the development will not have a significant adverse impact on the amenity of the surrounding area.</li> </ul>	
---	--

### 5.2.3 DEVELOPMENT ASSESSMENT & CONSENT (PART 4.5 PRECINCTS – REGIONAL SEPP)

<b>4.26 Master plans</b>	
(1) The Minister must prepare and approve a master plan that applies to the Alpine Region.	noted
(2) The master plan must contain the following information— <ul style="list-style-type: none"> <li>(a) the strategic vision and general objectives for the Alpine Region,</li> <li>(b) a map showing existing and proposed types of development,</li> <li>(c) the performance criteria for development,</li> <li>(d) information about heritage items or places of heritage significance,</li> <li>(e) limitations on development on certain land, including environmentally sensitive areas, land prone to flooding and cultural heritage.</li> </ul>	noted
(3) The master plan may also contain proposals for infrastructure facilities, public utility undertakings, roads and transport.	noted
(4) The master plan must be consistent with this Chapter.	noted
(5) The Minister may amend or replace a master plan.	noted

(6) A draft master plan must be published on the NSW planning portal for at least 28 days before it is approved by the Minister.	noted
(7) A master plan approved by the Minister must be published on the NSW planning portal and takes effect on the day it is published.	noted
<b>4.27 Consultation with National Parks and Wildlife Service</b>	
(1) Development consent must not be granted to development in the Alpine Region unless the consent authority has— (a) consulted with the National Parks and Wildlife Service, and (b) considered submissions received from the National Parks and Wildlife Service within the relevant period.	noted
(2) In this section— relevant period means— (a) 28 days after notice of the development application is given to the National Parks and Wildlife Service, or (b) another period determined by the Planning Secretary.	noted
<b>4.28 Consideration of master plans and other documents</b>	
(1) In deciding whether to grant development consent to development in the Alpine Region, the consent authority must consider the following— (a) the aim and objectives of this Chapter set out in section 4.1, (b) a draft development control plan that is intended to apply to the land and has been published on the NSW planning portal, (c) a conservation agreement under the Environment Protection and Biodiversity Conservation Act 1999 of the Commonwealth that applies to the land, (d) the Geotechnical Policy — Kosciuszko Alpine Resorts published by the Department in November 2003, (e) for development in the Perisher Range Alpine Resort— (i) the Perisher Range Resorts Master Plan, published by the National Parks and Wildlife Service in November 2001, and (ii) the Perisher Blue Ski Resort Ski Slope Master Plan adopted by the National Parks and Wildlife Service in May 2002.	<p>Complies</p> <p>N/A. No DCP is in effect for the development site.</p> <p>N/A</p> <p>Preliminary Geotechnical Assessment Report ref 215619.00 dated 15/9/22 from Douglas Partners have been submitted with this application.</p> <p>Complies</p>

<p>(2) In deciding whether to grant development consent to development in the Alpine Region, the consent authority must consider—</p> <ul style="list-style-type: none"> <li>(a) a master plan approved by the Minister under section 4.26 that applies to the land, or</li> <li>(b) if a master plan has not been approved—a draft master plan prepared under section 4.26 that is intended to apply to the land and has been published on the NSW planning portal.</li> </ul>	<p>Complies</p>
<p>4.29 Consideration of environmental, geotechnical and other matters</p>	
<p>(1) In deciding whether to grant development consent to development in the Alpine Region, the consent authority must consider the following—</p> <ul style="list-style-type: none"> <li>(a) measures proposed to address geotechnical issues relating to the development,</li> <li>(b) the extent to which the development will achieve an appropriate balance between— <ul style="list-style-type: none"> <li>(i) the conservation of the natural environment, and</li> <li>(ii) taking measures to mitigate environmental hazards, including geotechnical hazards, bush fires and flooding,</li> </ul> </li> <li>(c) the visual impact of the proposed development, particularly when viewed from the land identified as the Main Range Management Unit in the Kosciuszko National Park Plan of Management,</li> <li>(d) the cumulative impacts of development and resource use on the environment of the Alpine Subregion in which the development is carried out,</li> <li>(e) the capacity of existing infrastructure and services for transport to and within the Alpine Region to deal with additional usage generated by the development, including in peak periods,</li> <li>(f) the capacity of existing waste or resource management facilities to deal with additional waste generated by the development, including in peak periods.</li> </ul>	<p>N/A</p> <p>Complies. Existing</p> <p>Preliminary Geotechnical Assessment Report ref 215619.00 dated 15/9/22 from Douglas Partners have been submitted with this application &amp; Bushfire Report.</p> <p>Complies. The proposed works will ensure that the new materials used in the build reflect the existing character of the lodge. This will ensure the proposed changes are consistent with the character and design of CPV.</p> <p>N/A Existing</p> <p>The proposed development will not generate additional visitation to the resort and hence will have no impact on the existing infrastructure capacity and services for transport.</p> <p>Likewise, with no increase in visitation there will be no need to increase the capacity of existing waste disposal facilities, water supply or the reticulated effluent management system.</p>
<p>(2) For development involving earthworks or stormwater draining works, the consent</p>	<p>Minimal earthworks are proposed. Appropriate sedimentation and erosion</p>



authority must also consider measures to mitigate adverse impacts associated with the works.	control measures will be implemented on site during construction to ensure the proposed works do not adversely impact upon the surrounding natural and built environment. See SEMP at the end of this report for further detail.  There are no proposed changes to the existing stormwater drainage measures currently used for Arlberg Ski Club Lodge.
(3) For development the consent authority considers will significantly alter the character of an Alpine Subregion, the consent authority must also consider— (a) the existing character of the site and immediate surroundings, and (b) how the development will relate to the Alpine Subregion.	The proposed alterations and additions uses materials consistent with the existing and surrounding lodges ensuring the maintenance of the existing character of the building.  The proposed works aim to retain the original alpine character of the CPV. Hence, the proposed works will not significantly alter the character of the resort or Kosciuszko National Park.
<b>4.30 Kosciuszko National Park Plan of Management</b>	
(1) Development consent may be granted to development in the Alpine Region even if the application has not established that the development is consistent with the Kosciuszko National Park Plan of Management.	N/A The development is consistent with the Kosciuszko National Park Plan of Management.
(2) This section does not prevent the consent authority from refusing to grant consent to development on the basis that the development is not consistent with the Kosciuszko National Park Plan of Management. Note— Under the National Parks and Wildlife Act 1974, section 81(4), operations on land to which a plan of management under that Act applies may be undertaken only if they are undertaken in accordance with the plan of management, despite another Act or an instrument made under an Act.	noted

## 5.3 SNOWY MOUNTAINS SPECIAL ACTIVATION PRECINCT MASTER PLAN JULY 2022

### 5.3.1 CHAPTER 10 ALPINE PRECINCT PROVISIONS

<b>Land Use (10.1) Performance Criteria</b>	
A. Development is to be permissible and consistent with the Master Plan, Precincts—Regional SEPP, Alpine Development Control Plan, Kosciuszko National Park Plan of Management, and the National Parks and Wildlife Act.	Complies. Alpine DCP is not yet in effect.
B. In considering the suitability of the development, the consent authority must be satisfied that the development meets the performance criteria and development controls in this Master Plan and in the Alpine Development Control Plan.	Complies with Master Plan. Alpine DCP is not yet in effect.
<i>Appropriate locations for alpine development</i>	
C. Development consent can only be issued for development in the Alpine Precinct where: i. the uses will support the diversification of the Alpine Precinct's tourism offering and year-round economic viability. ii. the uses will not compromise the environmental, heritage and cultural values of the Alpine Precinct. iii. the uses will not exceed the established carrying capacity of the Alpine Precinct.	Complies
D. The location of future development should align with the relevant structure plan and be focused on land marked 'Development area'. Where development is proposed on land outside these areas, additional technical investigation may be required.	N/A
E. Development for new or upgraded accommodation will meet the indicative sub-precinct yields and visitor thresholds set out in the Kosciuszko National Park Plan of Management and leasing arrangements. Refer also to Chapter 14 of this Master Plan	N/A
<b>Alpine Resorts (10.2) Performance Criteria</b>	
A. Development should contribute to visitor attraction and village experience through: i. the prioritisation of infill development. ii. improvements to pedestrian and active transport connections. iii. creation and implementation of active street frontages.	N/A Existing.
B. Development should integrate public transport opportunities and should create	Existing

gateways and nodes to create a sense of place and community in Alpine Resort sub-precincts.	
C. Development should provide a range of tourist accommodation offerings and seasonal worker accommodation.	Existing club lodge licenced to provide accommodation for 30 adults. No change is proposed to current use of the building.
D. Development should be designed to reduce on-site power consumption and improve environmental performance	The proposed alterations and additions will improve the use of the building with the new works being easy to maintain and achieve a high level of bushfire compliance.
E. Development should be designed to contribute to the alpine character of the Alpine Resorts and reflect the alpine landscape and natural environment.	Complies. The proposed extension and alterations will retain the original alpine character of Charlotte Pass Village keeping in line with the existing building.
<b>Alpine Accommodation (10.3) Performance Criteria</b>	
These provisions are specific to development within the following Alpine Accommodation sub-precincts:• Ski Rider• Sponars Chalet • Thredbo Ranger Station• Creel Bay• Kosciuszko Tourist Park• Island Bend	N/A
<b>Alpine Experience (10.4) Performance Criteria</b>	
A. Public transport or mass transit connections should be integrated into the design of new developments, particularly in Alpine Resort and Alpine Accommodation sub-precincts.	N/A Existing development
B. Transport development must provide safe, reliable and accessible connections into and around the Kosciuszko National Park.	N/A
C. Development should be designed and staged to support and enable the ultimate growth of accommodation and attractions in the Alpine Region.	Noted. The proposed works will not impact on the operations of CPV.
D. Development of new and upgraded shared trails and paths should provide appropriate facilities and amenities.	N/A
E. Development should provide adequate car parking as part of a range of transport solutions (including the provision of accessible parking spaces).	N/A Existing
F. Visitor attractions must be supported by appropriate amenities, facilities and car parking and must minimise its impact to the natural environment.	Complies. Existing
G. Visitor attractions should be designed and staged to support and enable the ultimate growth of attractions in the Alpine Region.	Existing.

### 5.3.2 CHAPTER 11 ENVIRONMENT & SUSTAINABILITY



<b>Biodiversity (11.1) Performance Criteria</b>	
A. All development is to apply the avoid, minimise and offset methodology.	Complies.
B. Development is to avoid threatened ecological communities and threatened species habitat; such vegetation should not be removed. Development may occur in these areas if it is for essential infrastructure	Complies. Works are to be undertaken within the existing lease on previously disturbed area.
C. Development should be focused on colocation and infill to minimise biodiversity impacts	N/A
D. Development should be concentrated in and around already disturbed areas. Where possible, development should provide a buffer between areas of high ecological value and buildings and structures.	Complies. The new proposed extension will be built in areas of previously disturbed ground within the lease area.
E. Development should consider the biodiversity impacts of bushfire asset protection zones (APZ) and associated vegetation management.	Complies. No vegetation clearing is proposed as part of this application, nor to establish APZ. See Bushfire Report by Accent Town Planning submitted with this application.
F. Development must offset any impacts to biodiversity through direct management measures within Kosciuszko National Park and should be related to the biodiversity impacted	No biodiversity impact.
G. Riparian corridors must be preserved while ensuring consistency with the proposed Flooding and Drainage Strategy for the Precinct.	N/A The lodge is not located within 40m of a waterway and the proposed works will not impact upon terrestrial and aquatic habitats.
H. Any revegetation or planting within Kosciuszko National Park should follow the Rehabilitation Guidelines for the Resort Areas of Kosciuszko National Park	N/A
<b>Geotechnical (11.2) Performance Criteria</b>	
A. Development must address the requirements of the Geotechnical Policy – Kosciuszko National Park (DPNIR, 2003). This includes: i. development on land covered by the geotechnical maps, under the above policy must ensure the requirements of the policy are met. ii. development on land not covered by the geotechnical maps under the above policy must ensure the requirements of the policy are met and should also use the risk susceptibility mapping to inform the requirements and design of development	Geotechnical compliance has been detailed under section 2.3 of this SEE. Preliminary Geotechnical Assessment Report ref 215619.00 dated 15/9/22 from Douglas Partners have been submitted with this application.

B. Development must include an assessment of geotechnical risks.	Preliminary Geotechnical Assessment Report ref 215619.00 dated 15/9/22 from Douglas Partners have been submitted with this application.
C. Buildings and structures must be designed to accommodate the specific geotechnical risks identified for the site	Preliminary Geotechnical Assessment Report ref 215619.00 dated 15/9/22 from Douglas Partners have been submitted with this application.
D. Excavations required for new developments must consider the potential to cause widespread slope instability and ensure appropriate mitigation measures are implemented to minimise and manage risk.	Douglas Partners engineering assessment notes ' <i>Site works as detailed in Drawings SK1a – SK7a dated 1 January 2021 (see attached drawings) indicate that a maximum depth of cut of 0.7 m and a maximum depth of fill of 0.9 m will be required to facilitate construction levels.</i> ' and further provides recommendations that are to be incorporated into the design for the proposed works.
<b>Flood Management Risk (11.3) Performance Criteria</b>	
A. The Flood Planning Level is the 1% AEP plus 500mm freeboard to ensure consistency across the Precinct. Development must generally occur outside the Flood Planning Level unless it can demonstrate that risks can be suitably managed. This allows for the maintenance of flood function and to avoid adverse effects on flood behaviour to the detriment of other properties or the environment of the floodplain	N/A The subject site is not identified as flood prone land.
B. Development within the Flood Planning Level should demonstrate that: i. all structures are constructed with flood compatible building components below the 1% AEP flood level plus 500mm freeboard. ii. all structures are designed to withstand the forces of floodwater, debris and buoyancy up to 1% AEP flood plus 500mm freeboard	N/A
C. Development within the Probable Maximum Flood area should demonstrate that: i. all emergency and evacuation infrastructure is to be constructed with flood compatible building components below Probable Maximum Flood level plus 500mm freeboard. ii. all emergency and evacuation infrastructure structures are to be designed to withstand forces of floodwater, debris, and buoyancy up to Probable Maximum Flood plus	N/A

500mm freeboard. iii. development must be sited, designed and located to avoid or mitigate the flood risk to people, property and infrastructure such that: <ul style="list-style-type: none"> <li>flood risk is managed through site-specific built form and design.</li> <li>sensitive, vulnerable and critical uses are avoided in the floodplain.</li> </ul>	
D. Development should mitigate the impacts of local overland flooding through the provision of adequate site drainage systems, where possible.	N/A
E. Development must consider and plan for emergency evacuation situations to ensure the safety of all areas within the Probable Maximum Flood extent.	N/A
<b>Water Quality (11.4) Performance Criteria</b>	
A. Maintain or improve the ecological condition of waterbodies and their riparian zones in catchments over the long term	The subject site does not contain areas identified as "Riparian Lands and Watercourses", The nearest waterway is Spencers Creek which is approximately 120m from the lodge. Waste will be handled carefully and disposed of correctly on site to avoid any contamination of the site and the local waterway.
B. Development in the Alpine Precinct should implement on-site water management and water quality systems through: <ul style="list-style-type: none"> <li>i. the capture and re-use of water on-site.</li> <li>ii. the treatment of water on-site with any water discharged back into catchments having a neutral or beneficial effect on water quality.</li> <li>iii. incorporating water sensitive urban design principles into the development's-built form and landscaping, where possible.</li> </ul>	Existing on-site water management and water quality systems will not be altered as part of this application.
C. The quality of stormwater discharged into receiving catchments must be pre-development quality or better in relation to pH, total suspended solids, total phosphorus, total nitrogen and gross pollutants. The quality of water should aim to meet the following targets: <ul style="list-style-type: none"> <li>i. Total Suspended Solids: 85% reduction.</li> <li>ii. Total Phosphorus: 60% reduction.</li> <li>iii. Total Nitrogen: 45% reduction.</li> </ul>	Existing stormwater systems will not be altered as part of this application.
D. The quality of water discharged into receiving catchments should maintain electrical	No change



conductivity levels. Water quality should aim to maintain an electrical conductivity below the 30 $\mu\text{S}/\text{cm}$ ANZG 2018 Guideline value for upland rivers of South-East Australia	
E. Monitor macroinvertebrates to ensure they are consistently within Band A of the NSW AUSRIVAS model.	N/A
F. Erosion and sediment control should be managed during construction to ensure impacts to waterways are minimised in accordance with Managing Urban Stormwater Soils and Construction, also known as the Blue Book (current edition)	Appropriate sedimentation and erosion control measures will be implemented on site during construction to ensure the proposed works do not adversely impact upon the surrounding natural and built environment.
G. Discharge of wastewater and/or contaminated stormwater to watercourses or waterways is not permitted unless otherwise specified in an environmental protection licence issued under the Protection of the Environment Operations Act 1997. Development must obtain the appropriate water licenses in accordance with the Water Act 1912 and the Water Management Act 2000 and consider the relevant Water Sharing Plan	Noted.
<b>Bushfire (11.5) Performance Criteria</b>	
A. Development is to: i. minimise perimeters exposed to the bushfire hazard. ii. minimise vegetated corridors that permit the passage of bushfire towards development. iii. provide for the siting of future development away from ridge-tops and steep slopes, within saddles and narrow ridge crests. iv. ensure capacity of existing infrastructure (such as roads and utilities) can accommodate the increase in demand during emergencies as a result of the development.	The subject site is identified as being in bushfire prone land, and hence as outlined in Planning for Bushfire Protection – PBP 2019 (NSW RFS 2019) is considered Special Fire Protection Purpose (SFPP) and is required to obtain a BFSa from the RFS under section 100B of the RF Act. See Bushfire Hazard Assessment submitted as part of this application.
B. Asset Protection Zones are to be provided and maintained between a bushfire hazard and future development and are designed to address the relevant bushfire attack mechanisms	The APZ consists of an Inner Protection Area (IPA). The IPA is critical for providing a defensible space and managing heat intensities at the building surface. The entire lot is to be managed as an Inner Protection Area (IPA)
C. Adequate access is to be provided from all properties to the wider road network for park users emergency services and to	Charlotte Way is a two-wheel drive, all weather road. The widths and design would allow safe access for firefighters while

provide access to hazard vegetation to facilitate bushfire mitigation works and fire suppression	residents are evacuating an area. The capacity of road surfaces is sufficient to carry fully loaded firefighting vehicles.
D. Development is to minimise levels of radiant heat, localised smoke and ember attack through development design and siting	The use of Colorbond steel cladding and granite cladding will improve the bushfire protection for the lodge (section 6.5 PBP 2019).
E. The subdivision of land and location of developments should consider the future uses of land and the inclusion of roads into Asset Protection Zones	N/A
<b>Sustainability &amp; Climate Change (11.6) Performance Criteria</b>	
A. Development must be inclusive and sustainable and promote year round use.	Complies.
B. Development should preserve the Precincts landscape, cultural, heritage and biodiversity values by avoiding and minimising impact.	Impacts on the natural environment will be minimal with the implementation of appropriate environmental controls during construction limiting the potential impacts from the works on the existing natural environment.
C. Development should support sustainable and active transport opportunities and integrate open space. Buildings are to express a strong commitment to ESD principles and incorporate passive design, optimal orientation, effective sun shading, cross ventilation and open plan living. This should be evident in the external architectural expression.	Existing
D. Development should comply with applicable sustainability tools and programs for design, construction and operation.	Noted.
E. Consideration must be given to climate responsiveness and resilience. Climate change risks, hazard and opportunities must be considered in the design, construction and operation of development within the Precinct.	Consideration of materials has been made for the project.
F. Operators, lessees and licensees within the Precinct must prepare and maintain an Environmental Management System in accordance with ISO14001:2015 – Environmental management systems and the requirements of the Plan of Management for Kosciuszko National Park	Noted

### 5.3.3 CHAPTER 12 PLACE & LANDSCAPE

<b>Aboriginal Cultural Heritage (12.1) Performance Criteria</b>	
A. Areas of Aboriginal cultural heritage (included as part of the environmentally sensitive areas map) should not be developed. Development may occur in	N/A However, should any material suspected of being an Aboriginal object become unearthed in the course of works associated with the proposed works, all

these areas if it is for essential infrastructure and where further Aboriginal cultural heritage assessment will be undertaken to appropriately mitigate and manage any impacts to Aboriginal cultural heritage items, places or areas.	work at that location shall cease immediately as per Section 90 of the National Parks and Wildlife Act 1974, and the Office of Environment and Heritage shall be contacted immediately to arrange for representatives to inspect the site.
B. Aboriginal culturally significant places and sites should be integrated with areas of environmental significance and green space (where appropriate) across the Precinct. This may continue to evolve as greening opportunities across the Precinct are established	Noted.
C. Development in areas where surveys have not been undertaken require further Aboriginal cultural heritage assessment. These assessments must be carried out in accordance with Guide to investigating, assessing and reporting on Aboriginal cultural heritage in NSW (as modified from time to time) prior to any development on this land. These assessments must include a visual survey of the land. Once suitably assessed, any land identified as having Aboriginal cultural heritage significance should be included on the Environmentally Sensitive Areas (ESA) map. Development is to be assessed against the mapped zones of archaeological potential as required by the following: i. development within areas identified as 'disturbed land' do not require any further investigation beyond considering the potential for subsurface archaeological deposits. If current disturbances are considered to cover intact archaeological deposits, further investigation should take place that may include test excavation. Should development encounter any unexpected finds during construction, the procedures under the relevant unexpected finds protocol should be followed. ii. works within areas identified as "moderate ACH potential" or 'high ACH potential' should be avoided. Where development will impact these areas, further Aboriginal cultural heritage assessment must be undertaken. This assessment should include a visual inspection, possibly test excavation if warranted, and participation from the Aboriginal community	An AHIMS search found zero sites or places recorded or declared at the subject allotment See Appendix I. Likewise, there have been no known Aboriginal artefacts found during previous construction of the lodge. External works proposed will result in the minimal ground surface disturbance (see preliminary geotechnical assessment report attached) and hence the likelihood for Aboriginal artefacts to be found is very unlikely.
D. Development planned on land in which an Aboriginal object is located should be	N/A

supported by a heritage impact assessment which should be prepared to assess the extent to which a proposed development would harm Aboriginal objects.	
E. If impact to an Aboriginal object is unavoidable, an Aboriginal Heritage Impact Permit (AHIP) under Part 6 of the National Parks and Wildlife Act 1974 would be required.	Noted.
<b>Historic Heritage (12.2) Performance Criteria</b>	
A. Development in areas defined as 'disturbed land' can occur without further historic heritage investigation however must consider neighbouring heritage items and broader heritage values.	Noted.
B. Development on land where a heritage item is situated, that is a heritage item or is on land adjacent to a heritage item must prepare a statement of heritage impact.	The lodge is not identified as having any heritage significance. However, much consideration has been put into the proposed works to ensure that the new materials reflect the existing character of the lodge, to ensure the proposed changes are consistent with the character and design of CPV.
C. Development in areas defined as 'high risk' or 'moderate risk' requires further heritage assessment where the development is likely to materially have a major affect on a heritage item or its value. Development is considered to have a materially major affect if it involves: i. the full or partial demolition of a building. ii. major alterations or additions. iii. major adverse impacts, such as the removal of significant fabric, obscuring key views or dominating a heritage item, or the removal of evidence of significant historical associations; and iv. impact to significant archaeological deposits.	N/A
D. Development in areas defined as 'high risk' or 'moderate risk' requires further heritage assessment where the development is likely to materially have a minor affect on a heritage item or value. Development is considered to have a minor affect if it involves (but is not limited to): i. repairs or restoration to fabric. ii. installation of fire safety equipment. iii. installation of disabled access. iv. replacement of awnings, balconies, etc. v. installation of signage or fencing. vi. excavation of areas without archaeological potential. vii. erection of temporary structures.	N/A



viii. installation of safety and security equipment.	
E. Where development is likely to materially have a major effect on a heritage item or value, further heritage assessment is required. This heritage assessment includes: i. a visual inspection to determine the existing heritage values. ii. an archaeological assessment (if appropriate). iii. preparation of a statement of heritage impact.	N/A
F. Where development will have minor effect on a heritage item or value, a heritage assessment may be required. This heritage assessment may include: a visual inspection to determine the existing heritage values. i. an archaeological assessment (if appropriate). ii. use of a previously prepared heritage study if applicable.	N/A
G. Development that is likely to have a materially major or minor effect on a heritage item or its value must: i. identify the impacts to the heritage values of an item or place. ii. demonstrate the need for the impact and how alternatives to the impact have been considered. iii. demonstrate how the adverse impacts will be minimised or mitigated.	N/A
H. Development adjacent to a heritage item should ensure impacts to the heritage item are minimised, including through the provision of appropriate curtilages. There may be opportunities to reduce the curtilage to some heritage items if it can be demonstrated the development will not have a significant impact on the heritage item or its value.	N/A
I. Heritage items must be used for purposes that are appropriate to their heritage significance, including adaptive re-use where appropriate.	N/A
J. Development is to ensure long-term heritage conservation outcomes are retained or interpreted to reflect the history of heritage items and places.	The new materials reflect the existing character of the lodge, ensuring the proposed changes are consistent with the character and design of CPV.
K. Development should through redevelopment or upgrades remove inappropriate or unsympathetic alterations	Noted. N/A

and additions to heritage items and reinstate significant missing details and building elements, where possible.	
<b>Landscape, Character &amp; Open Space (12.3) Performance Criteria</b>	
A. Development should be designed to sensitively integrate into the landscape and should respond appropriately to the topography and climate of the Alpine Precinct	Existing
B. Development should protect, conserve and enhance the Alpine Precinct's natural environment and create a green infrastructure network, where possible.	N/A Existing
C. Landscaping and public open spaces should include plantings of native species found in surrounding plant communities, which aim to achieve the re-establishment of biodiversity in addition to aesthetic appeal and enhancement of the functionality of an area.	Landscaping is existing.
D. Revegetation and new plantings should follow the Rehabilitation guidelines for the Resort Areas of Kosciuszko National Park	No revegetation is proposed.
E. Development should integrate stormwater management infrastructure with open spaces, where possible.	Existing.
<b>Built Form (12.4) Performance Criteria</b>	
<b>General criteria for all development in the Alpine Region</b>	
<p>A. Buildings should be efficient, well designed and successfully integrated with the surrounding landscape. This will be achieved by:</p> <ul style="list-style-type: none"> <li>i. ensuring building bulk, orientation and design contributes to the energy efficiency of buildings, particularly with respect to thermal comfort.</li> <li>ii. ensuring new buildings are located within existing disturbed areas to minimise impacts on vegetation and natural processes.</li> <li>iii. siting development within existing disturbed areas to limit clearing and the expansion of new development areas.</li> <li>iv. incorporating climate resilient design principles in new development.</li> <li>v. applying suitable rehabilitation and native landscaping.</li> <li>vi. incorporating preparedness for natural hazards and climate change into development design ensuring development creates activated public domain spaces and provides safe and accessible pedestrian connections between buildings, appropriate for all seasons</li> </ul>	<p>The proposed extension and alteration works are deemed to be of positive influence to the Arlberg Ski Club Lodge and locality. The proposed extension is not anticipated to have any negative impacts on the amenity of the area.</p>

B. Site earthworks must respond to local topography and geotechnical characteristics and be appropriate for the intended land use.	Preliminary Geotechnical Assessment Report ref 215619.00 dated 15/9/22 from Douglas Partners have been submitted with this application.
<b>For village centres and public domain</b>	
A. Development should create an integrated streetscape where active frontages promote movement between the private and public realms.	N/A existing
B. Building entries should connect to an accessible (providing equitable access to all pedestrians) pedestrian network through design features, wayfinding, and landscape treatments	Existing
C. Development should integrate and provide public seating, shelter and lighting to contribute to increased activity and safety in the public realm	Existing
D. Development should provide human-scale buildings ensuring building envelopes allow adequate solar access and views, including ensuring significant views to natural features are protected	The proposed alteration and addition works will have minimal change the design or scale of the existing building. Hence, there is no anticipated impact to the privacy of occupiers and users of other land. Furthermore the proposed works will not impact the solar access or views available to recreational users of the alpine resort.
E. Development should provide for year-round weather protection that reduces the impacts of wind and snow accumulation in winter and provides adequate shade in summer	Existing. The roof design of the lodge is appropriately sloped, and directs accumulated snow to fall away from entrances, establishing safe entry and exit into and out of the Arlberg Ski Lodge. The proposed new extension will be built under and existing first floor terrace.
F. Development should provide clearly defined and separate pedestrian and vehicle entries to minimise conflicts.	Existing
G. Development should allow for snow clearing and adequate interface with oversnow vehicles, where appropriate.	Existing

#### D.3.4 CHAPTER 13 TRANSPORT & INFRASTRUCTURE

<b>Transport Network (13.1) Performance Criteria</b>	
A. Transport infrastructure should integrate the public transport network with the existing road network by: I. ensuring public transport stops are strategically located and provide adequate all-weather shelter and accessibility.	Existing

ii. minimising vehicle conflict with active transport and public transport routes	
B. Development must provide operational access and egress for emergency services and occupants	Existing
C. Development should integrate active transport connections that promote movements between the Alpine resorts, where possible	Existing. The proposed works will not result in an increase of visitors to the resort.
D. New development must provide and integrate new technologies, such as electric vehicle charging and electronic checkpoints, where possible	N/A. Existing
<b>Utilities, Services &amp; Infrastructure Performance Criteria</b>	
A. Development within the site must have access to water, wastewater, digital connectivity and telecommunications, energy and drainage infrastructure.	Complies - Existing
B. Utilities and services must be integrated with existing infrastructure and services, where possible.	Existing
C. Utilities and services should be integrated into road reserves, active transport corridors or the public domain, where possible.	Existing
D. Infrastructure and services must be designed to provide for the ultimate growth and development in Alpine Resorts.	Existing
E. Development should provide and integrate water cycle management and renewable energy solutions into the design of buildings and structures, where possible	Existing

### 5.3 OTHER APPROVALS RURAL FIRES ACT 1997 ( New Legislation )

The subject site is identified as being in bushfire prone land, and hence as outlined in *Planning for Bushfire Protection – PBP 2019* (NSW RFS 2019) is considered Special Fire Protection Purpose (SFPP) and is required to obtain a BFSa from the RFS under section 100B of the RF Act. See bushfire hazard assessment report submitted as part of this application.

### 5.4 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (203)

#### 5.4.1 OBJECTS OF THE EP&A ACT

In determining a development application, a consent authority must take into consideration the matters referred to in Clause 4.15 (1) of the EP&A Act as are of relevance to the development:

#### 4.15 – 1 (a) (i) the provisions of an environmental planning instrument

The applicable environmental planning instrument is State Environmental Planning Policy (Precincts—Regional) 2021.

#### 4.15 – 1 (a) (ii) the provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless



the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)
None are applicable to the proposal.
4.15 – 1 (a) (iii) the provisions of any development control plan
None are applicable to the proposal.
4.15 – 1 (a) (iiia) the provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4
None are applicable to the proposal.
4.15 – 1 (a) (iv) the provisions of any Regulations (to the extent that they prescribe matters for the purposes of this paragraph)
None are applicable to the proposal.
4.15 – 1 (b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality
<p><b>NATURAL ENVIRONMENT:</b> The proposed works are not anticipated to have any negative impacts on the surrounding natural environment.</p> <p><b>BUILT ENVIRONMENT:</b> The proposed alterations and additions will improve the condition of Arlberg Ski Club Lodge to ensure its longevity. The proposal aims to retain the original alpine character and fabric of Charlotte Pass Village. Hence, the overall change to the built environment is considered of positive influence on the existing building and locality.</p> <p><b>SOCIAL AND ECONOMIC IMPACTS IN THE LOCALITY:</b> The proposed works have been designed to minimise any amenity impacts on the neighbouring buildings, they are not expected to generate any negative social or economic issues.</p>
4.15 – 1 (c) the suitability of the site for the development
<p>The proposed alterations and additions will improve the condition of Arlberg Ski Club Lodge and create an improved visitor experience to CPV and are deemed as suitable for the subject site.</p> <p>The subject site is identified as being in bushfire prone land, and hence as outlined in <i>Planning for Bushfire Protection – PBP 2019</i> (NSW RFS 2019) is considered Special Fire Protection Purpose (SFPP) and is required to obtain a BFSa from the RFS under section 100B of the RF Act. See BHAR submitted as part of this application.</p> <p>See preliminary geotechnical assessment report as part of this application.</p>
4.15 – 1 (d) any submissions made in accordance with this Act or the regulations
This application will require mandatory notification in accordance with the EP&A Act. Due to the minimal impact and nature of the works, the proposal is unlikely to raise significant objection.
4.15 – 1 (e) the public interest
The development proposal satisfies the objectives of the State Environmental Planning Policy (Precincts—Regional) 2021 and is considered positive in terms of the public interest.

#### 5.4.2 BIODIVERSITY CONSERVATION ACT 2016

Section 1.7 of the EP&A Act requires the application of the Biodiversity Conservation Act 2016 (BC Act) in connection with the terrestrial environment.

It is vital that all development and clearing follows the Biodiversity Offsets Scheme which has been created to avoid, minimise, and offset impacts on biodiversity.

No vegetation clearing is proposed as part of this application, nor to establish APZ. Proposed clearing is below the clearing threshold and the site is not located within an area identified with high biodiversity values on the BVM. The proposal will not have a significant effect on threatened species or ecological communities and is not declared as an area of outstanding biodiversity value within Kosciuszko National Park. As a result, biodiversity offsets do not apply as part of this application.

## 6.0 CONCLUSION

### SUITABILITY OF THE SITE FOR DEVELOPMENT

The proposed works will improve the amenity of the existing tourist accommodation for the benefit of visitors and guests to the lodge and Charlotte Pass Snow Resort.

Materials used in the new extension will be in accordance with supplier specifications and will provide all-weather protection while protecting from damp and provide bushfire protection for the lodge. The use of stone and steel cladding creates an aesthetically pleasing façade that complements the built environment and upgrades of other lodges throughout the Kosciuszko National Park.

The minimal groundworks are confined to a previously disturbed area with no proposed impact to any threatened species or ecological communities. No recorded or known aboriginal site or artefacts have found within proximity of the existing lodge.

As a result, the proposed site selection has made every effort to ensure protection of the unique environmental and cultural elements of the Kosciuszko National Park through an environmentally sustainable and thoughtful development.

The proposal complies with the relevant environmental planning instruments and policies. The Statement of Environmental Effects confirms that the site is suitable and capable of sustaining the proposed development, with no adverse impacts.

#### Submissions Made in Accordance with the Act or regulations:

Given the proposals minimal environmental impact and improved amenity to the site it is unlikely to raise significant objection.

#### The Public Interest

The proposal is in the public interest as:

- It provides a sustainable land use.
- The proposal is suitable within the locality.
- The proposal is positive in terms of the amenity of the area.

## 7.0 GENERAL SITE ENVIRONMENTAL MANAGEMENT PLAN (SEMP)

A Site Environmental Management Plan (SEMP) will be prepared to with the construction certificate application.

All works are to undertaken as outlined in the Charlotte Pass Village Environmental Values Report May 2008 by NGH Environmental.

Some general impacts are outlined below:-

- Minimal site clearing activity will occur to allow for the footings of the proposed extension. Soil & sedimentation controls will be implemented to restrict any impact of external building works.
- A minor encroachment will occur to the Restriction of Access 1.5 wide and variable as noted on the plans. This will not impact the access to the area behind the lodge for maintenance and fire fighting purposes. No flow paths will be blocked as a result of this development.
- Scaffolding will be erected at natural ground level during the construction phase in order to reach the proposed construction zone.
- Construction vehicles will park on Charlotte Way. No parking is allowed on vegetated areas.
- All construction materials will be stored within the existing lot boundaries.
- The proposed works will not impact existing vegetation within or surrounding the allotment except where indicated on the construction plans.

### DUST CONTROL

Works involving dust dispersion will use water spray to help keep material damp and dust down. Covers will be placed over waste storage areas and piles of excavated materials to prevent dust dispersion. When transporting materials that cause dust they will be dampened and covered before moving.

### LITTER CONTROL

Litter control around the site is the responsibility of all on site. A daily site clean up to reduce litter around the site and prevent any possible hazards it causes will be performed. It is the subcontractor's responsibility to leave the work area neat, clean and free of litter. Litter collected can be placed in bins or specified areas and disposed of at the local council tip.

### EMERGENCY PROCEDURES

In case of an emergency, the following key emergency response contacts are:

Organisation	Emergency Phone	Non-Emergency Phone
NSW Police	000	Jindabyne: 02 6456 2244
NSW Fire and Rescue	000	Cooma: 02 6452 2037
NSW Ambulance	000	Cooma: 02 9320 7777
Cooma Hospital	02 6455 3222	
National Parks and Wildlife Service (NPWS)/OEH	1800 629 104	Snowy Region: 6450 5600 Jindabyne: 6450 5555
Roads and Maritime Services	Traffic incidents & road conditions: 131 700 Road closures and special events: 132 701	
EPA Environment Line	131 555	
NRMA Road Service	13 21 32	



## NOISE CONTROL

Noise on a construction site can become a form of pollution to the local environment through the use of plant, machinery and tools.

To reduce noise pollution from site the following procedures will be followed:

- All plant, machinery and tools will be maintained in good working order at all times;
- Work involving noisy tools or machinery to be used inside the building structure when possible;
- Strict hours of operation for each site will be implemented to reduce noise pollution to the surrounding areas
- In the instance of receiving a complaint in regards to noise levels immediate rectification will occur as far as practical.

## FUELS & CHEMICALS

No fuel or chemicals will be stored onsite during construction.

## CHEMICAL SPILL PREVENTION AND CONTAINMENT

The proposed development will not require the storage or use of any hazardous materials. However, if any petroleum products, trade waste, garbage and other noxious substances are required for the subject works, although unlikely to be required in any substantial amount, this will be appropriately stored off-site.

## INDIGENOUS HERITAGE

Should any material suspected of being an Aboriginal object become unearthed in the course of works associated with the proposed works, all work at that location shall cease immediately as per Section 90 of the *National Parks and Wildlife Act 1974*, and the Office of Environment and Heritage shall be contacted immediately to arrange for representatives to inspect the site.

## WASTE MANAGEMENT

Waste management is a crucial aspect to managing the impact of development in Kosciuszko National Park. Caution must be taken when disposing of and handling waste material on site, to prevent any loose debris. All waste generated from the proposed works, and the general construction waste and other waste associated with the repair and maintenance work will be disposed to an external waste facility.

## NOISE AND VIBRATION POLLUTION

The intended hours of construction have not yet been determined. Hours for construction will be determined in order to allow for construction on suitable days during appropriate hours to prevent any negative impacts on the amenity of visitors and staff.

## AIR POLLUTION

The construction of the proposed development is not expected to create any unnecessary air pollution.

## TRAFFIC MANAGEMENT

The overall principles for traffic management during demolition, excavation and construction phases of the development are:

- minimise effects on traffic movements and amenity;
- manage and control vehicular movements to and from the site;
- maintain traffic capacity at intersections;
- maintain existing on-street parking in the vicinity of the site where practical;
- maintain access to other properties adjacent to the site;
- maintain safety for workers;
- provide appropriate access to the site for, excavation and construction traffic; and

- manage and control vehicle activity in the vicinity of the site.

**APPENDIX I AHIMS SEARCH RESULT 13/09/2023**
**AHIMS Web Services (AWS)**  
**Search Result**

Your Ref/PO Number : 21023DA

Client Service ID : 819441

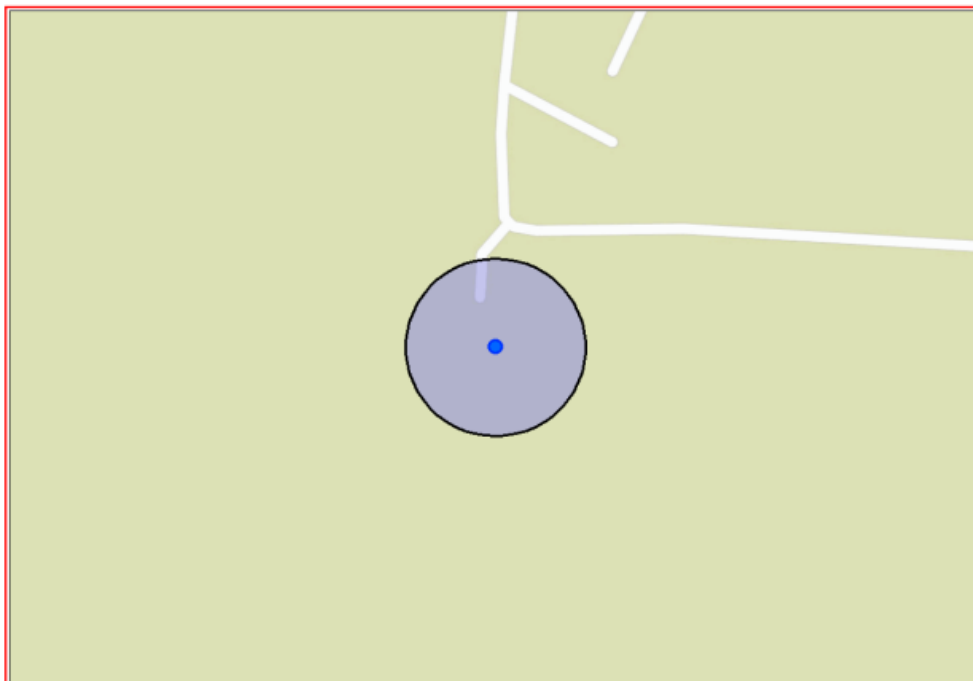
Accent Town Planning  
 10 Kosciuszko Road  
 Jindabyne New South Wales 2627  
 Attention: Tammy Stewart  
 Email: matt@completecertification.com.au

Date: 13 September 2023

Dear Sir or Madam:

**AHIMS Web Service search for the following area at Address : 93 CHARLOTTE WAY CHARLOTTE PASS 2624 with a Buffer of 50 meters, conducted by Tammy Stewart on 13 September 2023.**

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *